

DEVELOPMENT TABLE							
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	BUILDING FOOTPRINT (SQFT)	BUILDING COVERAGE	FRONT SETBACK (TO LIVING SPACES)	REAR SETBACK (TO LIVING SPACES)	SIDE YARD SETBACK
20	11,391	L-PLAN 7	2,173	19.1%	30'	35'	5/25'
21	9,452	L-PLAN 4	3,555	37.6%	35'	20'	5/5'
22	9,014	L-PLAN 6	2,320	25.7%	35'	30'	5/5'
23	9,965	L-PLAN 5	3,704	37.2%	30'	25'	5/5'
24	10,398	L-PLAN 8	2,767	26.6%	30'	45'	5/5'
25	9,886	L-PLAN 6	2,320	23.5%	30'	35'	5/5'
26	9,528	L-PLAN 4	3,555	37.3%	35'	25'	5/5'
27	9,690	L-PLAN 8	2,767	28.6%	30'	35'	5/5'
28	9,690	L-PLAN 7	2,173	22.4%	35'	30'	5/5'
29	8,990	L-PLAN 6	2,320	25.8%	30'	35'	5/5'
30	10,092	L-PLAN 5	3,704	36.7%	30'	30'	5/5'
31	11,703	L-PLAN 6	2,320	19.8%	30'	45'	5/25'
32	5,995	L-PLAN 3	1,581	26.4%	25'	20'	5.7/5.7'
33	9,349	L-PLAN 4	3,555	38.0%	35'	20'	5/5'
34	9,566	L-PLAN 7	2,173	22.7%	30'	30'	5/5'
35	9,030	L-PLAN 6	2,320	25.7%	35'	30'	5/5'
36	9,384	L-PLAN 5	3,704	39.5%	30'	20'	5/5'
37	9,128	L-PLAN 6	2,320	25.4%	30'	35'	5/5'
38	9,632	L-PLAN 8	2,767	28.7%	35'	25'	5/5'
39	9,471	L-PLAN 7	2,173	22.9%	30'	30'	5/5'
40	9,046	L-PLAN 6	2,320	25.6%	35'	30'	5/5'
41	10,038	L-PLAN 5	3,704	36.9%	30'	25'	5/5'
42	9,895	L-PLAN 6	2,320	23.4%	30'	35'	5/25'
43	9,044	L-PLAN 4	3,555	39.3%	30'	20'	5/5'
108	8,084	W-PLAN 7	2,156	26.7%	30'	25'	5/25'
109	7,040	W-PLAN 8	2,311	32.8%	35'	20'	5/5'
110	7,232	W-PLAN 5	3,076	42.5%	30'	20'	5/5'
111	7,232	W-PLAN 4	1,581	21.9%	35'	25'	5/5'
112	7,232	W-PLAN 7	2,156	29.8%	30'	30'	5/5'
113	7,232	W-PLAN 8	2,311	32.0%	40'	20'	5/5'
114	7,232	W-PLAN 4	1,581	21.9%	35'	25'	5/5'
115	7,232	W-PLAN 5	3,076	42.5%	30'	20'	5/5'
116	7,232	W-PLAN 4	1,581	21.9%	35'	25'	5/5'
117	7,232	W-PLAN 7	2,156	29.8%	30'	30'	5/5'
118	7,232	W-PLAN 8	2,311	32.0%	35'	25'	5/5'
119	7,232	W-PLAN 5	3,076	42.5%	30'	20'	5/5'
120	7,341	W-PLAN 7	2,156	29.4%	30'	25'	5/5'
121	8,877	W-PLAN 8	2,311	26.0%	30'	20'	5/25'
122	8,811	W-PLAN 7	2,156	24.5%	30'	30'	5/25'
123	7,064	W-PLAN 6	1,884	26.7%	30'	25'	5/5'
124	7,845	W-PLAN 7	2,156	28.2%	40'	25'	5/5'
125	7,050	W-PLAN 4	1,581	22.4%	35'	25'	5/5'
126	7,350	W-PLAN 5	3,076	41.8%	30'	20'	5/5'
127 (BMR)	4,140	W-PLAN 2	1,525	36.8%	20'	20'	0/5'
128 (BMR)	6,264	W-PLAN 1	1,341	21.4%	30'	20'	0/15'
129	6,755	W-PLAN 4	1,581	23.4%	15'	25'	6/6'
130	5,404	W-PLAN 3	1,884	34.9%	25'	20'	5.6/5.6'
131	7,200	W-PLAN 5	3,076	42.7%	30'	20'	5/5'
132	7,650	W-PLAN 8	2,311	30.2%	35'	30'	5/5'
133	7,350	W-PLAN 5	3,076	41.8%	30'	20'	5/5'
134	7,015	W-PLAN 6	1,884	26.9%	25'	30'	5/5'
135	8,002	W-PLAN 7	2,156	26.9%	30'	25'	5/25'

NOTES:

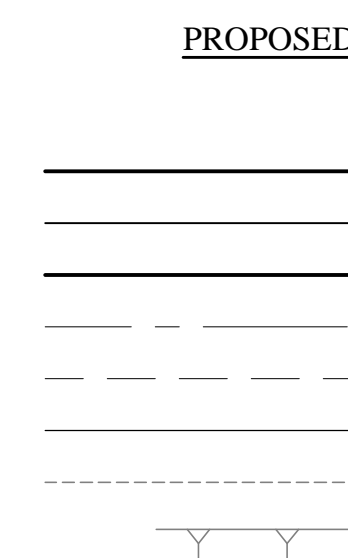
- SETBACKS LISTED IN THE DEVELOPMENT TABLE ARE MINIMUM DISTANCES TO FIRST FLOOR. FRONT SETBACK IS MEASURED FROM FACE OF CURB.
- LOTS 12-15, 32, 44, 52, 53, 65, 77-78, 96-97, 100-103, 129 & 130 ARE R1-4,500 LOTS; MINIMUM SIDE SETBACKS SHOULD BE 10% OF LOT WIDTH.
- BUILDING FOOTPRINT AREA ONLY INCLUDES FIRST FLOOR LIVING AREA AND GARAGE AND DOES NOT INCLUDE PORCH OR ANY OUTDOOR LIVING AREAS.
- HOUSE PLOTTING SHOWN ON INDIVIDUAL LOTS MEETS THE MINIMUM FRONT AND REAR SETBACKS SHOWN IN THE DEVELOPMENT TABLE WITHIN 5 FEET.
- PER 2013/2014 RDCS COMMITMENTS, 5-FOOT FRONT AND REAR ARTICULATION IS PROVIDED ON (MOST) FLANKING LOTS.
- PORCHES MAY ENCOACH UP TO 7 FEET INTO THE PRESCRIBED SETBACKS.
- EACH LOT TO PROVIDE A MINIMUM 20-FOOT DEEP DRIVEWAY MEASURED FROM FACE-OF-GARAGE TO BACK-OF-SIDEWALK.
- SIDE YARD SETBACKS SHOWN IN THE DEVELOPMENT TABLE REPRESENT MINIMUM STANDARDS TO FIRST FLOOR AS PRESCRIBED ON THE MORGAN HILL MUNICIPAL CODE. SETBACK DIMENSIONS SHOWN ON INDIVIDUAL LOTS FULFILL APPLICANT'S RDCS COMMITMENTS TO EXCESS SIDE YARDS.

SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
12	5,529	L-PLAN 3	2,408	441	51.5%
13	6,693	L-PLAN 3	2,408	441	42.6%
14	6,659	L-PLAN 3	2,408	441	42.8%
15	5,501	L-PLAN 3	2,408	441	51.8%
32	5,995	L-PLAN 3	2,408	441	47.5%
44	6,600	L-PLAN 3	2,408	441	43.2%
52	5,501	L-PLAN 3	2,408	441	51.8%
53	5,501	L-PLAN 3	2,408	441	51.8%
65	8,468	L-PLAN 3	2,408	441	33.6%

SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
77	5,404	W-PLAN 3	2,343	450	51.7%
78	6,804	W-PLAN 4	2,408	450	42.0%
96	5,404	W-PLAN 3	2,343	450	51.7%
97	5,501	W-PLAN 4	2,408	441	51.8%
100	5,501	W-PLAN 4	2,408	441	51.8%
101	5,501	W-PLAN 4	2,408	441	51.8%
102	5,501	W-PLAN 4	2,408	441	51.8%
103	5,404	W-PLAN 3	2,343	450	51.7%
129	6,755	W-PLAN 4	2,408	441	42.2%
130	5,404	W-PLAN 3	2,343	450	51.7%

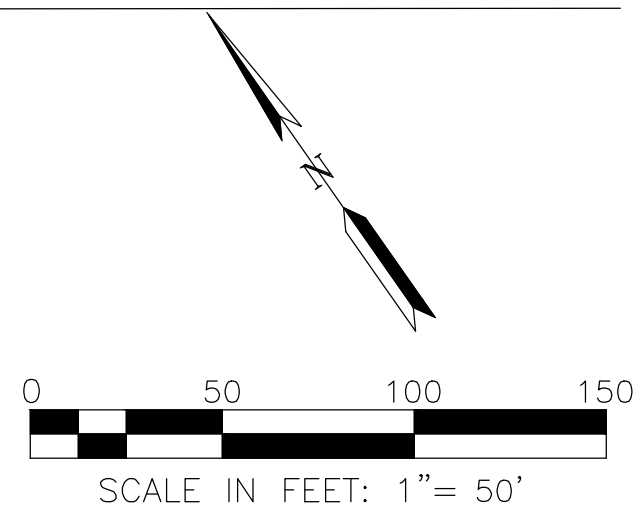
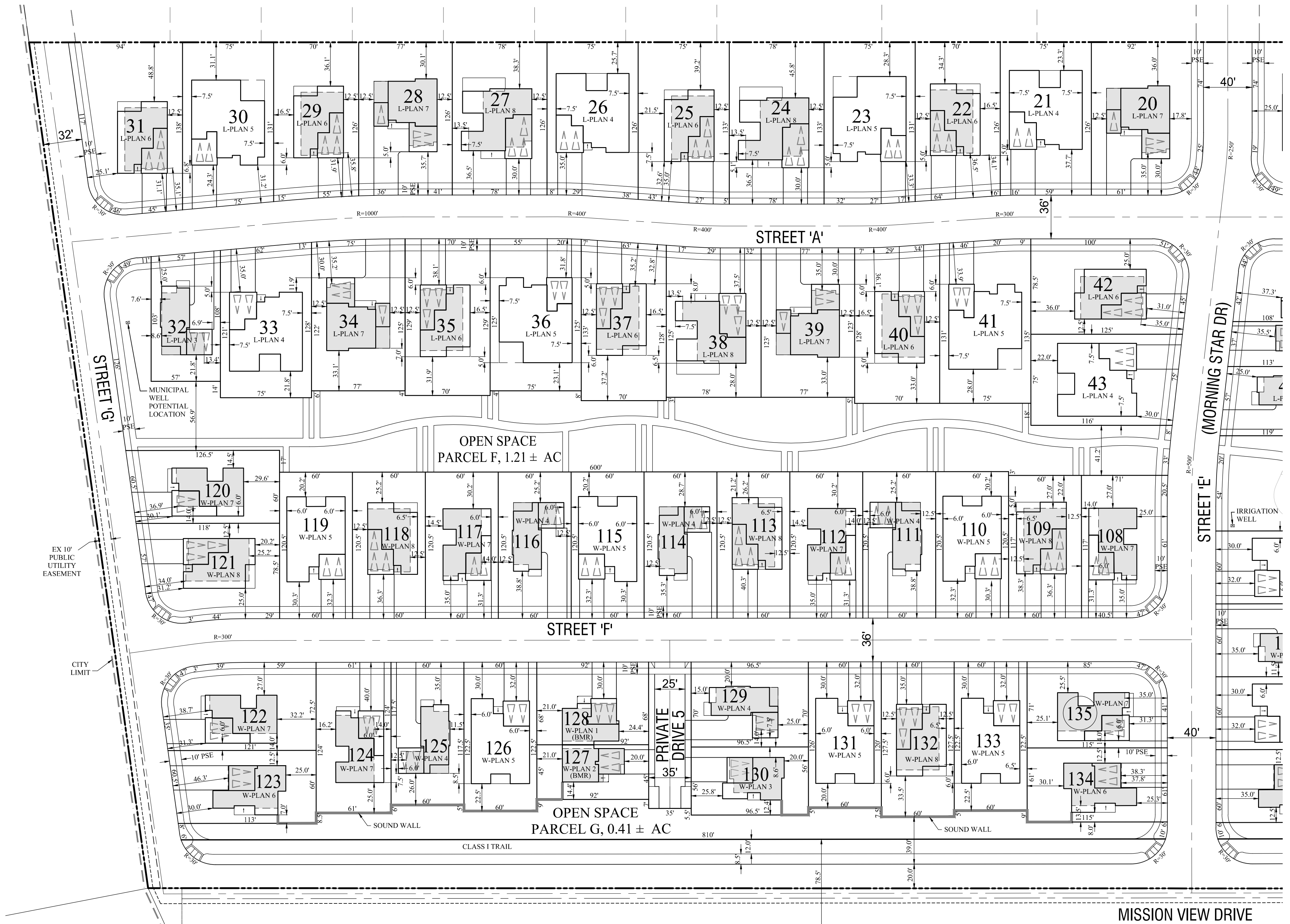
PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
L-PLAN 1	4	2,082	DUET
L-PLAN 2	4	2,326	DUET
L-PLAN 3	9	2,408	R1-4500
L-PLAN 4	7	2,953	R1-9000
L-PLAN 5	10	3,208	R1-9000
L-PLAN 6	17	3,424	R1-9000
L-PLAN 7	10	3,646	R1-9000
L-PLAN 8	7	3,928	R1-9000
TOTAL	68		

PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
W-PLAN 1	3	2,082	DUET
W-PLAN 2	3	2,326	DUET
W-PLAN 3	4	2,343	R1-4500
W-PLAN 4	6	2,408	R1-4500
W-PLAN 5	10	2,408	R1-7000
W-PLAN 6	13	2,630	R1-7000
W-PLAN 7	5	2,904	R1-7000
W-PLAN 8	12	3,059	R1-7000
W-PLAN 8	11	3,415	R1-7000
TOTAL	67		



LEGEND

DESCRIPTION	EXISTING
BOUNDARY	---
LOT LINE	---
FACE OF CURB	---
RIGHT-OF-WAY	---
CENTERLINE	---
PUE	---
SIDEWALK	---
SETBACK	---
SLOPE	---



PLOT DATE: June 30, 2015
FILE PATH: W:\Jobs\15132032\Drawings\Plan\Applications\APP_2015\VPDP-4 SITE PLAN-NORTH.dwg

RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 8055 CAMINO ARROYO GILROY, CA 95020
 PHONE: (408) 848-0300 FAX: (408) 848-0302

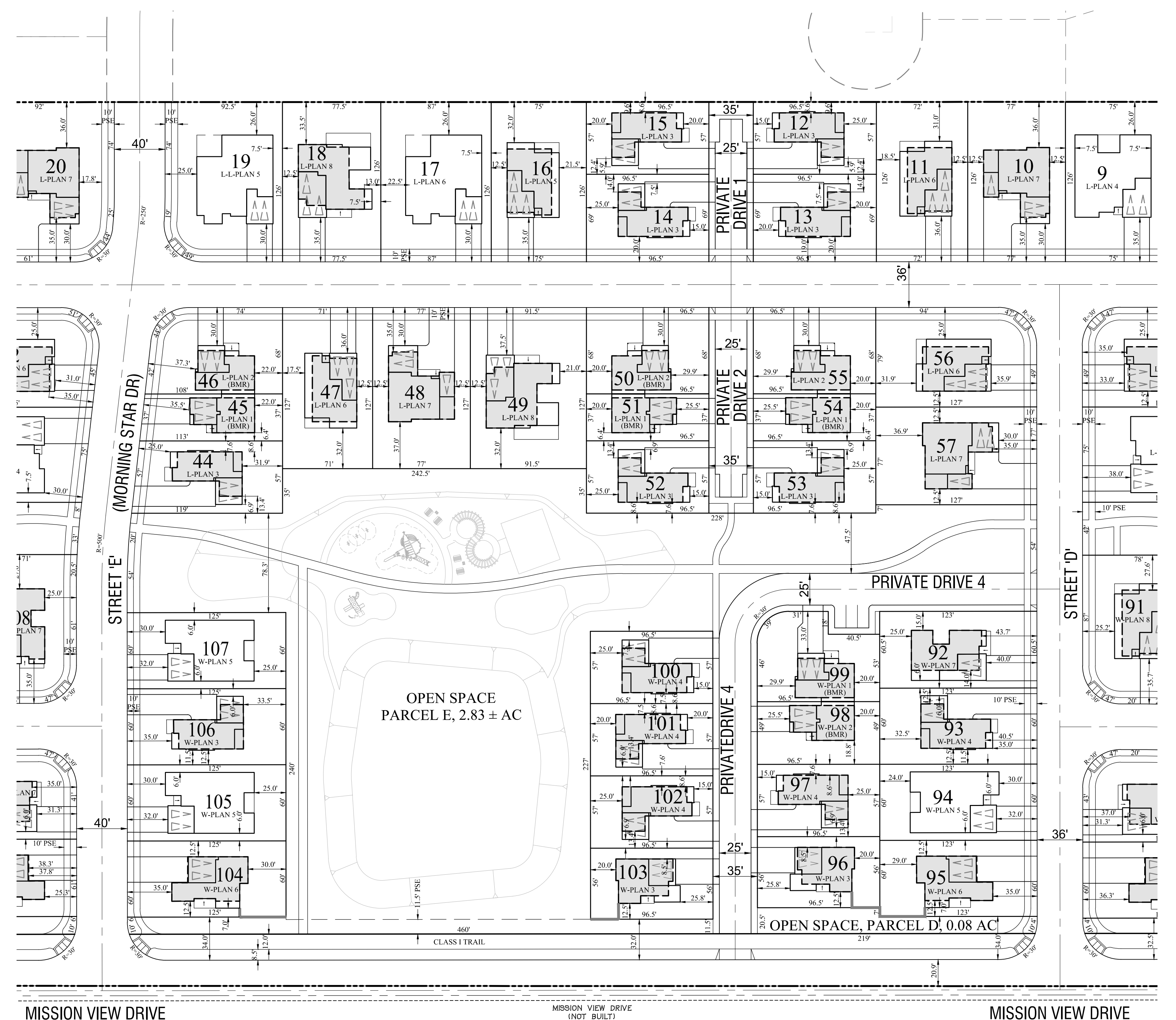
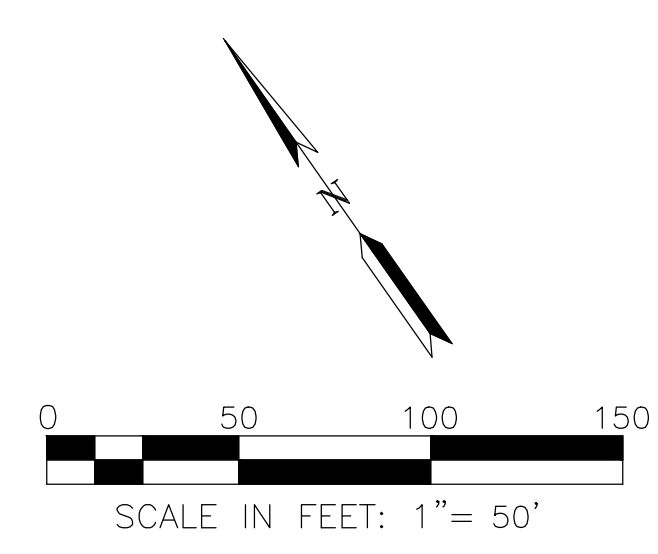
STANDARD PACIFIC HOMES
 4850 Willow Road, Suite 150
 Pleasanton, CA 94588
 www.standardpacifichomes.com

PRECISE DEVELOPMENT PLAN
SITE PLAN - NORTH
 LANTANA-WISTERIA
 MORGAN HILL, CALIFORNIA
 FOR STANDARD PACIFIC HOMES

SCALE AS SHOWN	DATE 06/30/2015
BY CK	
SHEET REVISIONS	
DATE	MK
SHEET	
PDP-4	
OF 65 SHEETS	
JOB NO. 132032	

DEVELOPMENT TABLE							
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	BUILDING FOOTPRINT (SQFT)	BUILDING COVERAGE	FRONT SETBACK (TO LIVING SPACES)	REAR SETBACK (TO LIVING SPACES)	SIDE YARD SETBACK
10	9,702	L-PLAN 7	2,173	22.4%	30'	35'	5'/5'
11	9,072	L-PLAN 6	2,320	25.6%	35'	30'	5'/5'
12	5,529	L-PLAN 3	1,581	28.6%	15'	25'	5.7/5.7'
13	6,693	L-PLAN 3	1,581	23.6%	20'	20'	6.9/11.9'
14	6,659	L-PLAN 3	1,581	23.7%	15'	25'	6.9/11.9'
15	5,501	L-PLAN 3	1,581	28.7%	20'	20'	5.7/5.7'
16	9,450	L-PLAN 5	3,704	39.2%	35'	30'	5'/5'
17	10,962	L-PLAN 6	2,320	21.2%	30'	25'	5'/5'
18	9,765	L-PLAN 8	2,767	28.3%	35'	30'	5'/5'
19	11,491	L-PLAN 5	3,704	32.2%	30'	25'	5/2/5'
44	6,600	L-PLAN 3	1,581	24.0%	25'	30'	5.7/5.7'
45 (BMR)	4,089	L-PLAN 1	1,341	32.8%	35'	20'	0'/5'
46 (BMR)	6,969	L-PLAN 2	1,525	21.9%	30'	20'	0'/2/5'
47	9,017	L-PLAN 6	2,320	25.7%	35'	30'	5'/5'
48	9,779	L-PLAN 7	2,173	22.2%	30'	35'	5'/5'
49	11,621	L-PLAN 8	2,767	23.8%	35'	30'	5'/5'
50 (BMR)	6,570	L-PLAN 2	1,525	23.2%	30'	20'	0'/1/5'
51 (BMR)	3,572	L-PLAN 1	1,341	37.5%	25'	20'	0'/5'
52	5,501	L-PLAN 3	1,581	28.7%	15'	25'	5.7/5.7'
53	5,501	L-PLAN 3	1,581	28.7%	15'	25'	5.7/5.7'
54 (BMR)	3,572	L-PLAN 1	1,341	37.5%	25'	20'	0'/5'
55	6,570	L-PLAN 2	1,525	23.2%	30'	20'	0'/1/5'
56	9,726	L-PLAN 6	2,320	23.9%	30'	25'	5/2/5'
57	9,766	L-PLAN 7	2,173	22.3%	35'	30'	5'/5'
92	7,500	W-PLAN 7	2,156	28.7%	40'	25'	5'/1/5'
93	7,438	W-PLAN 4	1,581	21.3%	35'	30'	5'/5'
94	7,438	W-PLAN 5	3,076	41.4%	30'	20'	5'/5'
95	7,438	W-PLAN 6	1,884	25.3%	35'	25'	5'/5'
96	5,404	W-PLAN 3	1,577	29.2%	25'	20'	5.6/5.6'
97	5,501	W-PLAN 4	1,581	28.7%	15'	25'	5.7/5.7'
98 (BMR)	4,769	W-PLAN 2	1,525	32.0%	25'	20'	0'/5'
99 (BMR)	5,996	W-PLAN 1	1,341	22.4%	30'	20'	0'/1/5'
100	5,501	W-PLAN 4	1,581	28.7%	15'	25'	5.7/5.7'
101	5,501	W-PLAN 4	1,581	28.7%	20'	20'	5.7/5.7'
102	5,501	W-PLAN 4	1,581	28.7%	15'	25'	5.7/5.7'
103	5,404	W-PLAN 3	1,577	29.2%	25'	20'	5.6/5.6'
104	7,500	W-PLAN 6	1,884	25.1%	35'	30'	5'/5'
105	7,500	W-PLAN 5	3,076	41.0%	30'	25'	5'/5'
106	7,500	W-PLAN 3	1,577	21.0%	35'	30'	5'/5'
107	7,500	W-PLAN 5	3,076	41.0%	30'	25'	5'/5'

- NOTES:**
- SETBACKS LISTED IN THE DEVELOPMENT TABLE ARE MINIMUM DISTANCES TO FIRST FLOOR. FRONT SETBACK IS MEASURED FROM FACE OF CURB.
 - LOTS 12-15, 32, 44, 52, 53, 65, 77-78, 96-97, 100-103, 129 & 130 ARE R1-4,500 LOTS. MINIMUM SIDE SETBACKS SHOULD BE 10% OF LOT WIDTH.
 - BUILDING FOOTPRINT AREA ONLY INCLUDES FIRST FLOOR LIVING AREA AND GARAGE AND DOES NOT INCLUDE PORCH OR ANY OUTDOOR LIVING AREAS.
 - HOUSE PLOTTING SHOWN ON INDIVIDUAL LOTS MEETS THE MINIMUM FRONT AND REAR SETBACKS SHOWN IN THE DEVELOPMENT TABLE WITHIN 5 FEET.
 - PER 2013/2014 RDCS COMMITMENTS, 5-FOOT FRONT AND REAR ARTICULATION IS PROVIDED ON (MOST) FLANKING LOTS.
 - PORCHES MAY ENCOACH UP TO 7 FEET INTO THE PRESCRIBED SETBACKS.
 - EACH LOT TO PROVIDE A MINIMUM 20-FOOT DEEP DRIVEWAY MEASURED FROM FACE-OF-GARAGE TO BACK-OF-SIDEWALK.
 - SIDE YARD SETBACKS SHOWN IN THE DEVELOPMENT TABLE REPRESENT MINIMUM STANDARDS TO FIRST FLOOR AS PRESCRIBED ON THE MORGAN HILL MUNICIPAL CODE. SETBACK DIMENSIONS SHOWN ON INDIVIDUAL LOTS FULFILL APPLICANT'S RDCS COMMITMENTS TO EXCESS SIDE YARDS.

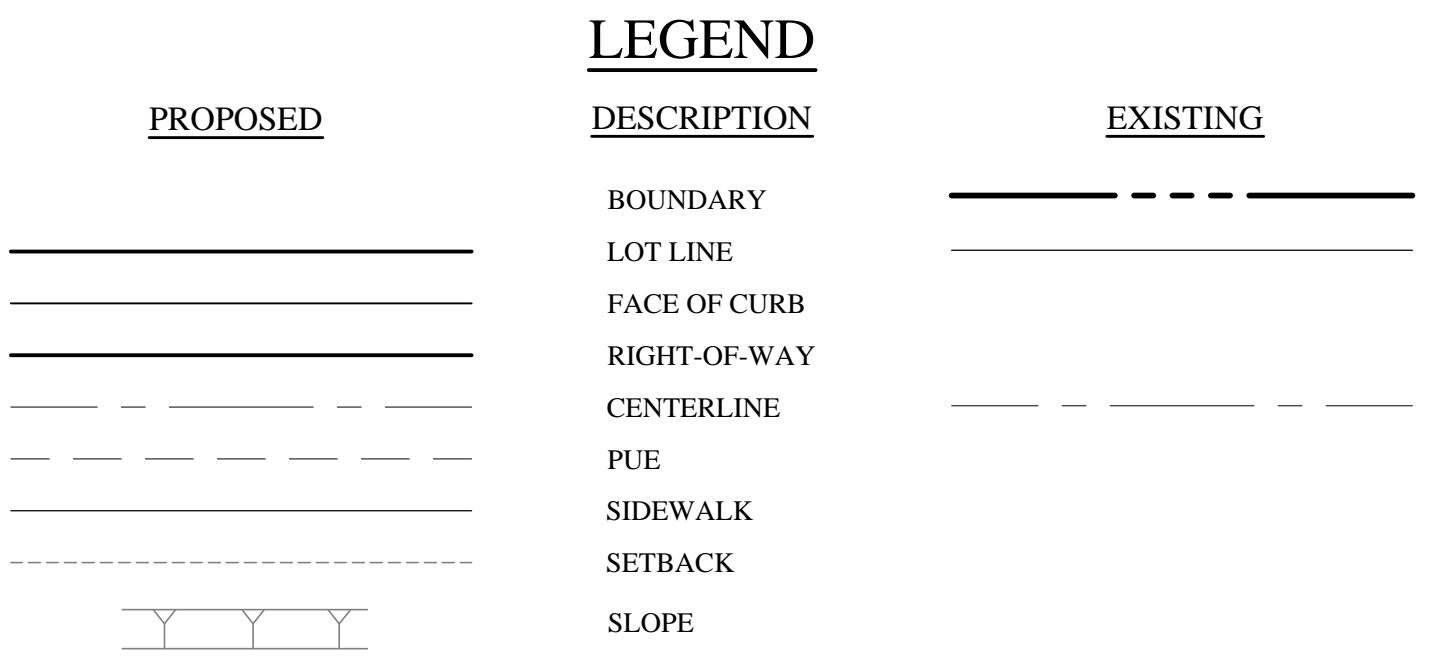


SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
12	5,529	L-PLAN 3	2,408	441	51.5%
13	6,693	L-PLAN 3	2,408	441	42.6%
14	6,659	L-PLAN 3	2,408	441	42.8%
15	5,501	L-PLAN 3	2,408	441	51.8%
32	5,995	L-PLAN 3	2,408	441	47.5%
44	6,600	L-PLAN 3	2,408	441	43.2%
52	5,501	L-PLAN 3	2,408	441	51.8%
53	5,501	L-PLAN 3	2,408	441	51.8%
65	8,468	L-PLAN 3	2,408	441	33.6%

SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
77	5,404	W-PLAN 3	2,343	450	51.7%
78	6,804	W-PLAN 4	2,408	450	42.0%
96	5,404	W-PLAN 3	2,343	450	51.7%
97	5,501	W-PLAN 4	2,408	441	51.8%
100	5,501	W-PLAN 4	2,408	441	51.8%
101	5,501	W-PLAN 4	2,408	441	51.8%
102	5,501	W-PLAN 4	2,408	441	51.8%
103	5,404	W-PLAN 3	2,343	450	51.7%
129	6,755	W-PLAN 4	2,408	441	42.2%
130	5,404	W-PLAN 3	2,343	450	51.7%

PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
L-PLAN 1	4	2,082	DUET
L-PLAN 2	4	2,326	DUET
L-PLAN 3	9	2,408	R1-4500
L-PLAN 4	7	2,953	R1-9000
L-PLAN 5	10	3,208	R1-9000
L-PLAN 6	17	3,424	R1-9000
L-PLAN 7	10	3,646	R1-9000
L-PLAN 8	7	3,928	R1-9000
TOTAL	68		

PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
W-PLAN 1	3	2,082	DUET
W-PLAN 2	3	2,326	DUET
W-PLAN 3	4	2,343	R1-4500
W-PLAN 4	6	2,408	R1-4500
W-PLAN 4	10	2,408	R1-7000
W-PLAN 5	13	2,630	R1-7000
W-PLAN 6	5	2,904	R1-7000
W-PLAN 7	12	3,059	R1-7000
W-PLAN 8	11	3,415	R1-7000
TOTAL	67		



DEVELOPMENT TABLE							
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	BUILDING FOOTPRINT (SQFT)	BUILDING COVERAGE	FRONT SETBACK (TO LIVING SPACES)	REAR SETBACK (TO LIVING SPACES)	SIDE YARD SETBACK
1	13,630	L-PLAN 4	3,555	26.1%	30'	35'	5/25'
2 (BMR)	5,610	L-PLAN 1	1,341	23.9%	30'	20'	0/5'
3	7,239	L-PLAN 2	1,525	21.1%	30'	20'	0/25'
4	9,450	L-PLAN 5	3,704	39.2%	30'	25'	5/5'
5	9,450	L-PLAN 6	2,320	24.6%	35'	30'	5/5'
6	9,450	L-PLAN 5	3,704	39.2%	30'	25'	5/5'
7	9,072	L-PLAN 6	3,704	40.8%	35'	30'	5/5'
8	9,702	L-PLAN 7	2,173	22.4%	30'	35'	5/5'
9	9,450	L-PLAN 4	3,555	37.6%	35'	25'	5/5'
58	9,469	L-PLAN 4	3,555	37.5%	35'	20'	5/5'
59	9,726	L-PLAN 6	2,320	23.9%	30'	30'	5/25'
60	10,200	L-PLAN 5	3,704	36.3%	30'	35'	5/5'
61	9,450	L-PLAN 6	2,320	24.6%	35'	30'	5/5'
62	9,828	L-PLAN 8	2,767	28.2%	30'	35'	5/5'
63	10,206	L-PLAN 7	2,173	21.3%	35'	30'	5/5'
64	10,078	L-PLAN 5	3,704	36.8%	30'	30'	5/5'
65	8,468	L-PLAN 3	1,581	18.7%	25'	35'	5/25'
66	9,698	L-PLAN 6	2,320	23.9%	35'	30'	5/25'
67	10,121	L-PLAN 7	2,173	21.5%	30'	40'	5/5'
68	10,502	L-PLAN 8	2,767	26.3%	40'	30'	5/5'
69	8,435	W-PLAN 4	1,581	18.7%	30'	50'	5/5'
70	8,084	W-PLAN 7	2,156	26.7%	25'	35'	5/5'
71	8,593	W-PLAN 8	2,311	26.9%	25'	35'	5/5'
72	11,825	W-PLAN 5	3,076	26.0%	50'	25'	5/5'
73	7,030	W-PLAN 7	2,156	30.7%	30'	25'	5/5'
74	7,440	W-PLAN 4	1,581	21.3%	30'	30'	5/5'
75	7,436	W-PLAN 8	2,311	31.1%	35'	25'	5/5'
76	7,530	W-PLAN 5	3,076	40.9%	30'	25'	5/5'
77	5,404	W-PLAN 3	1,577	29.2%	25'	20'	5.6/5.6'
78	6,804	W-PLAN 4	1,581	23.2%	15'	25'	7.2/11.9'
79 (BMR)	6,646	W-PLAN 1	1,341	20.2%	30'	25'	0/15'
80 (BMR)	4,343	W-PLAN 2	1,525	35.1%	20'	25'	0/5'
81	7,499	W-PLAN 6	1,884	25.1%	35'	25'	5/5'
82	8,767	W-PLAN 7	2,156	24.6%	30'	30'	5/25'
83	9,303	W-PLAN 8	2,311	24.8%	35'	25'	5/25'
84	7,280	W-PLAN 5	3,076	42.4%	30'	20'	5/5'
85	7,321	W-PLAN 7	2,156	29.5%	35'	25'	5/5'
86	7,556	W-PLAN 8	2,311	30.6%	30'	30'	5/5'
87	7,498	W-PLAN 5	3,076	41.0%	40'	25'	5/5'
88	7,500	W-PLAN 8	2,311	30.8%	30'	30'	5/5'
89	7,459	W-PLAN 5	3,076	41.2%	25'	25'	5/5'
90	7,232	W-PLAN 4	1,581	21.9%	30'	30'	5/5'
91	9,047	W-PLAN 8	2,311	25.5%	35'	20'	5/25'

NOTES:

- SETBACKS LISTED IN THE DEVELOPMENT TABLE ARE MINIMUM DISTANCES TO FIRST FLOOR. FRONT SETBACK IS MEASURED FROM FACE OF CURB.
- LOTS 12-15, 32, 44, 52, 53, 65, 77-78, 96-97, 100-103, 129 & 130 ARE R1-4500 LOTS; MINIMUM SIDE SETBACKS SHOULD BE 10% OF LOT WIDTH.
- BUILDING FOOTPRINT AREA ONLY INCLUDES FIRST FLOOR LIVING AREA AND GARAGE AND DOES NOT INCLUDE PORCH OR ANY OUTDOOR LIVING AREAS.
- HOUSE PLOTTING SHOWN ON INDIVIDUAL LOTS MEETS THE MINIMUM FRONT AND REAR SETBACKS SHOWN IN THE DEVELOPMENT TABLE WITHIN 5 FEET.
- PER 2013/2014 RDCS COMMITMENTS, 5-FOOT FRONT AND REAR ARTICULATION IS PROVIDED ON (MOST) FLANKING LOTS.
- PORCHES MAY ENCROACH UP TO 7 FEET INTO THE PRESCRIBED SETBACKS.
- EACH LOT TO PROVIDE A MINIMUM 20-FOOT DEEP DRIVEWAY MEASURED FROM FACE-OF-GARAGE TO BACK-OF-SIDEWALK.
- SIDE YARD SETBACKS SHOWN IN THE DEVELOPMENT TABLE REPRESENT MINIMUM STANDARDS TO FIRST FLOOR AS PRESCRIBED ON THE MORGAN HILL MUNICIPAL CODE. SETBACK DIMENSIONS SHOWN ON INDIVIDUAL LOTS FULFILL APPLICANT'S RDCS COMMITMENTS TO EXCESS SIDE YARDS.

SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
12	5,529	L-PLAN 3	2,408	441	51.5%
13	6,693	L-PLAN 3	2,408	441	42.6%
14	6,659	L-PLAN 3	2,408	441	42.8%
15	5,501	L-PLAN 3	2,408	441	51.8%
32	5,995	L-PLAN 3	2,408	441	47.5%
44	6,600	L-PLAN 3	2,408	441	43.2%
52	5,501	L-PLAN 3	2,408	441	51.8%
53	5,501	L-PLAN 3	2,408	441	51.8%
65	8,468	L-PLAN 3	2,408	441	33.6%

SINGLE FAMILY DETACHED FLOOR AREA RATIO (FAR) FOR R1-4,500 LOTS					
LOT NUMBER	LOT AREA (SQFT)	FLOOR PLAN NO.	LIVING AREA (SQFT)	GARAGE (SQFT)	F.A.R.
77	5,404	W-PLAN 3	2,343	450	51.7%
78	6,804	W-PLAN 4	2,408	450	42.0%
96	5,404	W-PLAN 3	2,343	450	51.7%
97	5,501	W-PLAN 4	2,408	441	51.8%
100	5,501	W-PLAN 4	2,408	441	51.8%
101	5,501	W-PLAN 4	2,408	441	51.8%
102	5,501	W-PLAN 4	2,408	441	51.8%
103	5,404	W-PLAN 3	2,343	450	51.7%
129	6,755	W-PLAN 4	2,408	441	42.2%
130	5,404	W-PLAN 3	2,343	450	51.7%

PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
L-PLAN 1	4	2,082	DUET
L-PLAN 2	4	2,326	DUET
L-PLAN 3	9	2,408	R1-4500
L-PLAN 4	7	2,953	R1-9000
L-PLAN 5	10	3,208	R1-9000
L-PLAN 6	17	3,424	R1-9000
L-PLAN 7	10	3,646	R1-9000
L-PLAN 8	7	3,928	R1-9000
TOTAL	68		

PROPOSED PLAN MIX			
PLAN NO.	NUMBER OF PLANS	TOTAL LIVING AREA (SQFT)	PRODUCT TYPE
W-PLAN 1	3	2,082	DUET
W-PLAN 2	3	2,326	DUET
W-PLAN 3	4	2,343	R1-4500
W-PLAN 4	6	2,408	R1-4500
W-PLAN 4	10	2,408	R1-7000
W-PLAN 5	13	2,630	R1-7000
W-PLAN 6	5	2,904	R1-7000
W-PLAN 7	12	3,059	R1-7000
W-PLAN 8	11	3,415	R1-7000
TOTAL	67		

PROPOSED

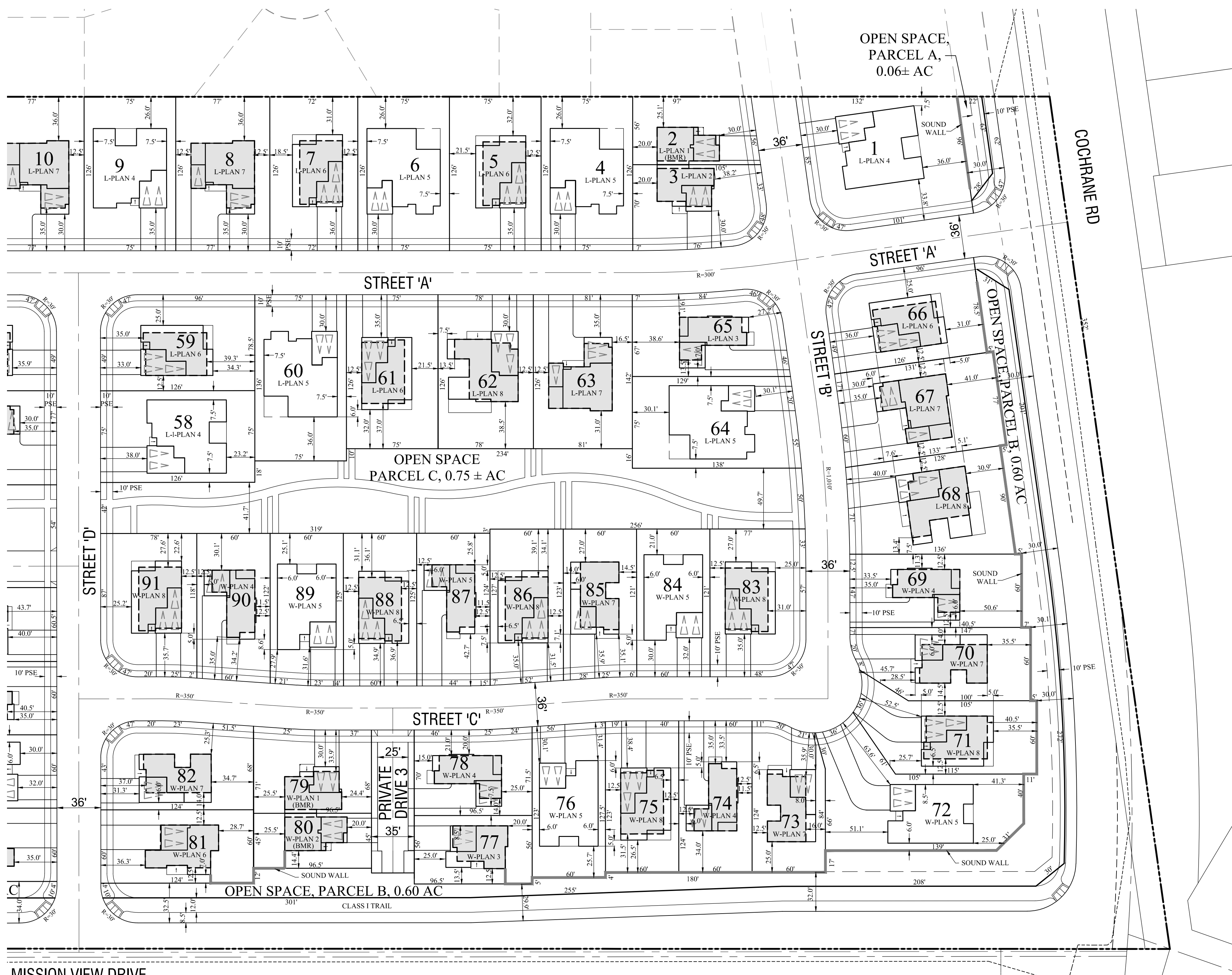
EXISTING

LEGEND

DESCRIPTION

EXISTING

- BOUNDARY
- LOT LINE
- FACE OF CURB
- RIGHT-OF-WAY
- CENTERLINE
- PUE
- SETWALK
- SETBACK
- SLOPE



PLOT DATE: June 30, 2015
FILE PATH: W:\Jobs\13132032\Drawings\Prelim\Applications\PDP_2015\VPDP-6 SITE PLAN-SOUTH.dwg

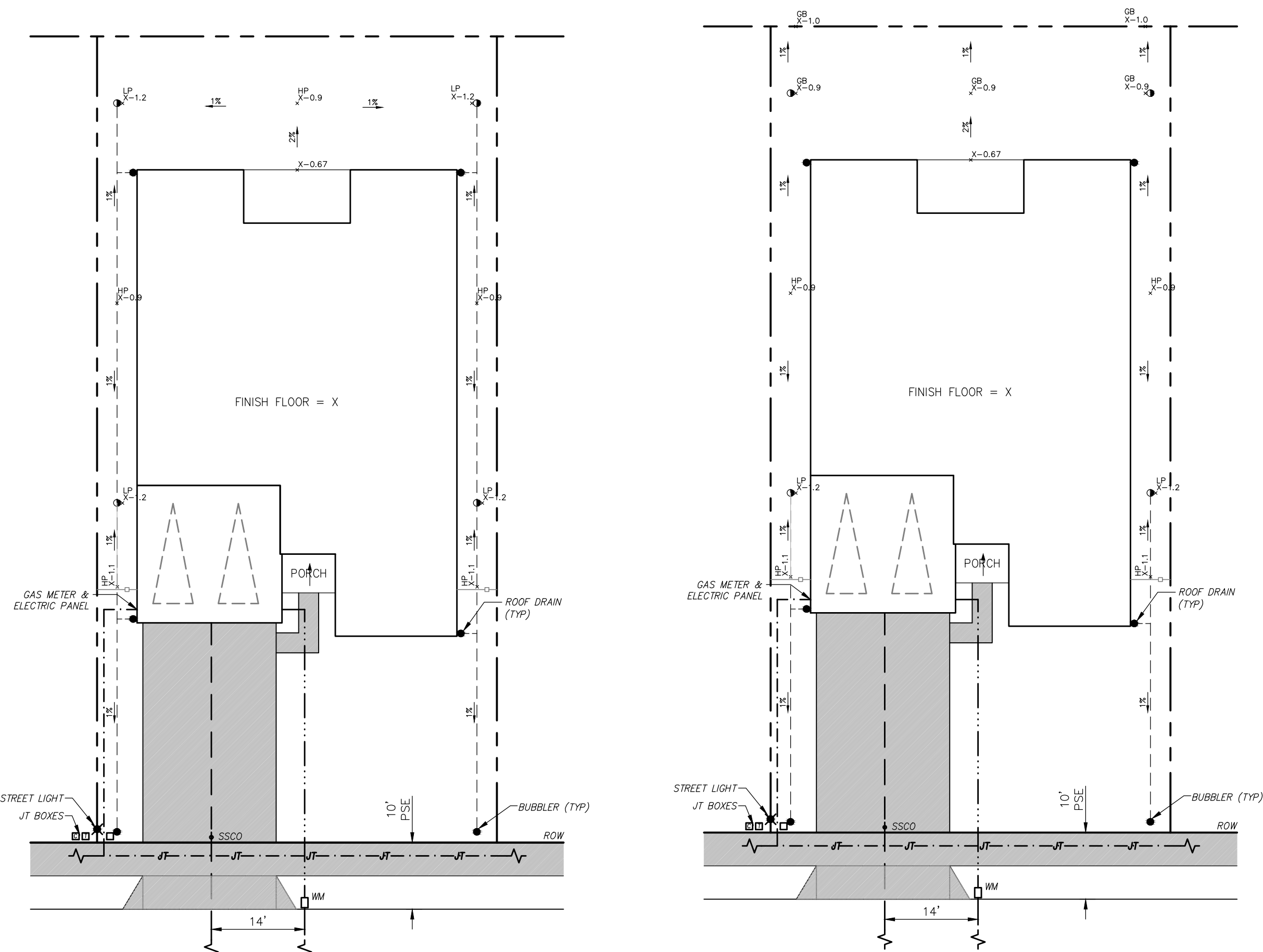
RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 8055 CAMINO ARROYO GILROY, CA 95020
 PHONE: (408) 848-0300 FAX: (408) 848-0302

STANDARD PACIFIC HOMES
 4850 Willow Road, Suite 150
 Pleasanton, CA 94588
 www.standardpacifichomes.com

PRECISE DEVELOPMENT PLAN
SITE PLAN-SOUTH
 LANTANA-WISTERIA
 MORGAN HILL, CALIFORNIA
 FOR STANDARD PACIFIC HOMES

DATE	BY	CK	SHEET REVISIONS	SCALE	AS SHOWN	DATE
						06/30/2015

SHEET
PDP-6
 OF 65 SHEETS
 JOB NO.
 132032

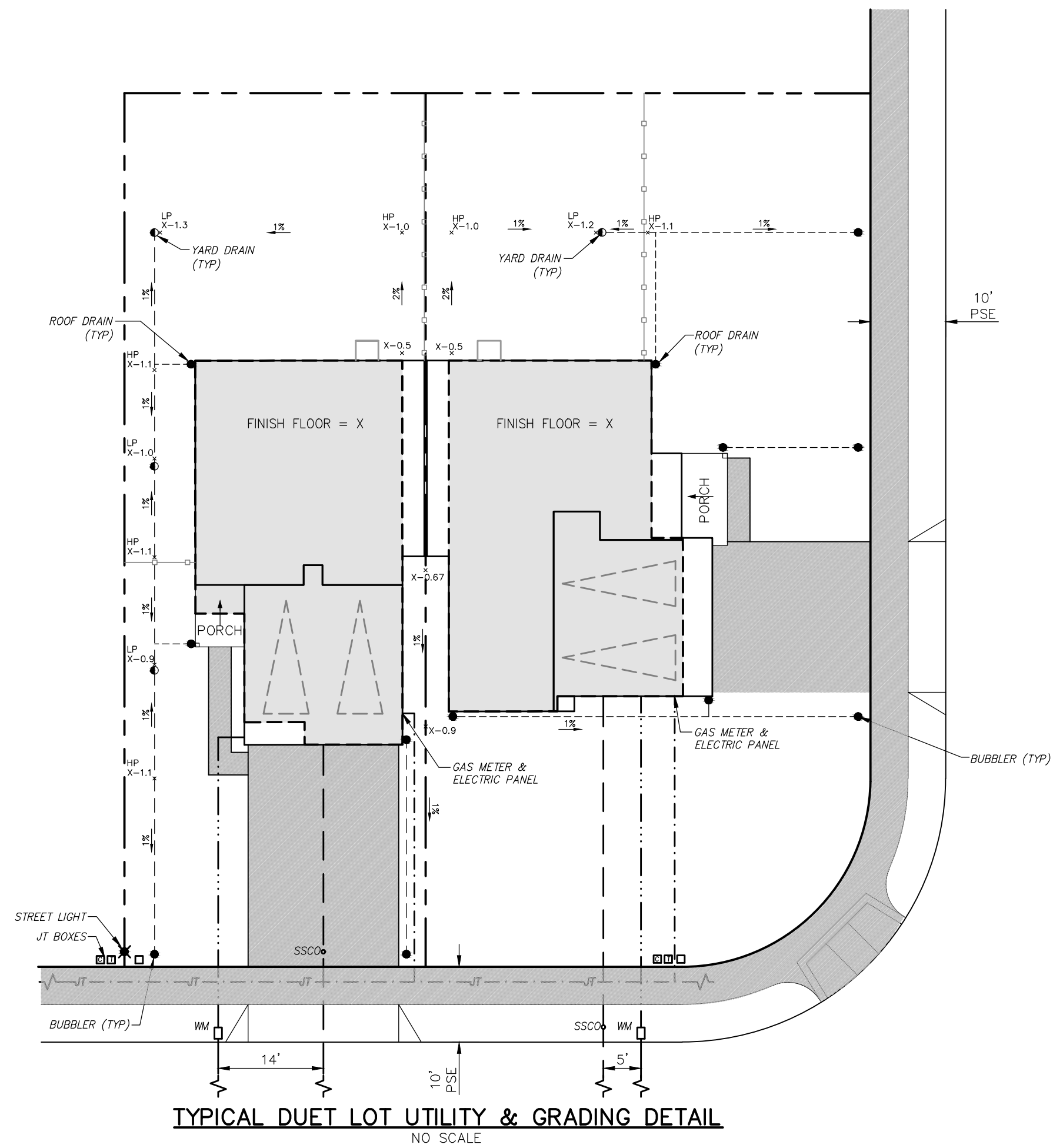


TYPICAL SINGLE-FAMILY DETACHED LOT UTILITY & GRADING DETAIL
NO SCALE

- NOTES:
 1. TYPICAL LOT UTILITY LAYOUT AND GRADING IS CONCEPTUAL AND SUBJECT TO FINAL DESIGN.
 2. APPLICANT IS CURRENTLY EXPLORING STORMWATER TREATMENT/DETENTION ALTERNATIVES ON INDIVIDUAL LOTS. DETAILS ARE NOT SHOWN ABOVE.

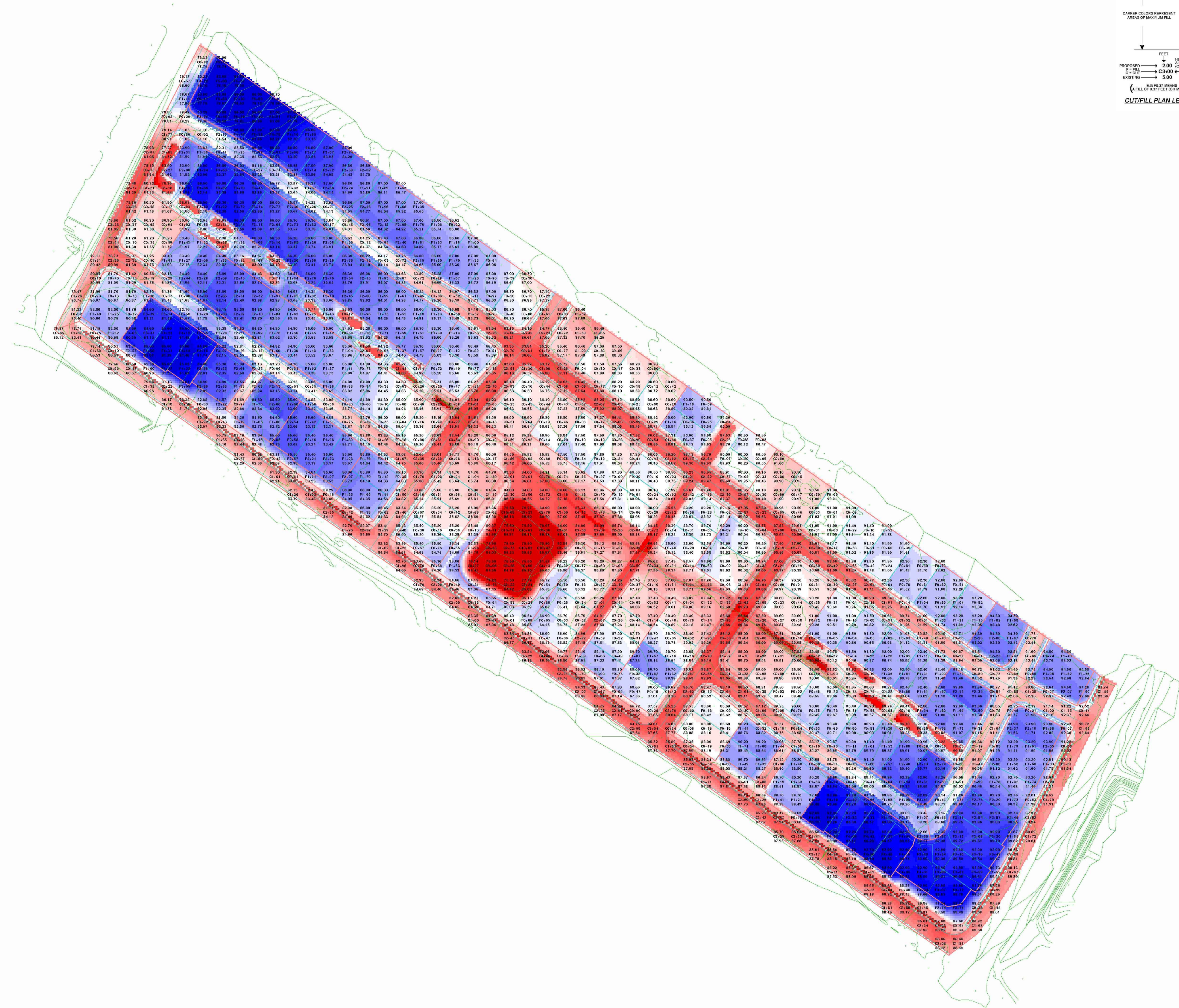
TYPICAL SINGLE-FAMILY DETACHED LOT UTILITY & GRADING DETAIL
NO SCALE

- NOTES:
 1. TYPICAL LOT UTILITY LAYOUT AND GRADING IS CONCEPTUAL AND SUBJECT TO FINAL DESIGN.
 2. APPLICANT IS CURRENTLY EXPLORING STORMWATER TREATMENT/DETENTION ALTERNATIVES ON INDIVIDUAL LOTS. DETAILS ARE NOT SHOWN ABOVE.
 3. REAR DRAINING LOTS INDICATED ON PLANS AS LOT NUMBER WITH AN ASTRISK AS DESIGNATED ON TM-07 AND TM-08.



TYPICAL DUET LOT UTILITY & GRADING DETAIL
NO SCALE

- NOTES:
 1. TYPICAL LOT UTILITY LAYOUT AND GRADING IS CONCEPTUAL AND SUBJECT TO FINAL DESIGN.
 2. APPLICANT IS CURRENTLY EXPLORING STORMWATER TREATMENT/DETENTION ALTERNATIVES ON INDIVIDUAL LOTS. DETAILS ARE NOT SHOWN ABOVE.

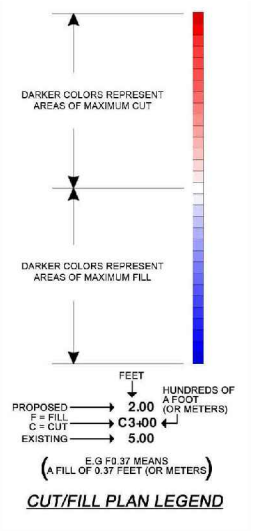


CUT/FILL MAP
1" = 100'

CONCEPTUAL EARTHWORK SUMMARY:

CUT	48,000 CY±
FILL	55,000 CY±
NET	7,000 CY± (IMPORT)

*THE GRADING DESIGN WILL BE REFINED DURING FINAL DESIGN PHASE TO MINIMIZE IMPORT/EXPORT.



SCALE	AS SHOWN	DATE	06/30/2015
BY CK			
SHEET REVISIONS			
DATE	MK		
SHEET			
PDP-7			
OF 65 SHEETS			
JOB NO. 132032			

PROPOSED	DESCRIPTION	EXISTING
---	BOUNDARY	---
---	CENTERLINE	---
---	EASEMENT	---
---	PROPERTY LINE	---
---	RIGHT-OF-WAY/FACE OF CURB	---
SD	STORM DRAIN	SD
SS	SANITARY SEWER	SS
W	WATER	W
---	OVERHEAD UTILITY	---
---	GAS	---
---	TELECOMMUNICATION	---
○	MANHOLE	○
---	SIDEWALK	---
○	FIRE HYDRANT	○
○	STORM DRAIN FIELD INLET	○
○	STORM DRAIN CURB INLET	○
---	AREA DRAIN	---
---	SOUND WALL	---
---	RETAINING WALL	---
---	CURB CUT	---
---	HANDICAP RAMP	---
100	LOT NUMBER	
100	LOT NUMBER W/ DRAINAGE TO REAR YARD	
P 219.3	PAD ELEVATION	
OR	STREET LIGHT	
---	STORM WATER BMP	



RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 8055 CAMINO ARROYO GILROY, CA 95020
 PHONE: (408) 848-0300 FAX: (408) 848-0302

STANDARD PACIFIC HOMES
 4850 Willow Road, Suite 150
 Pleasanton, CA 94588
 www.standardpacifichomes.com

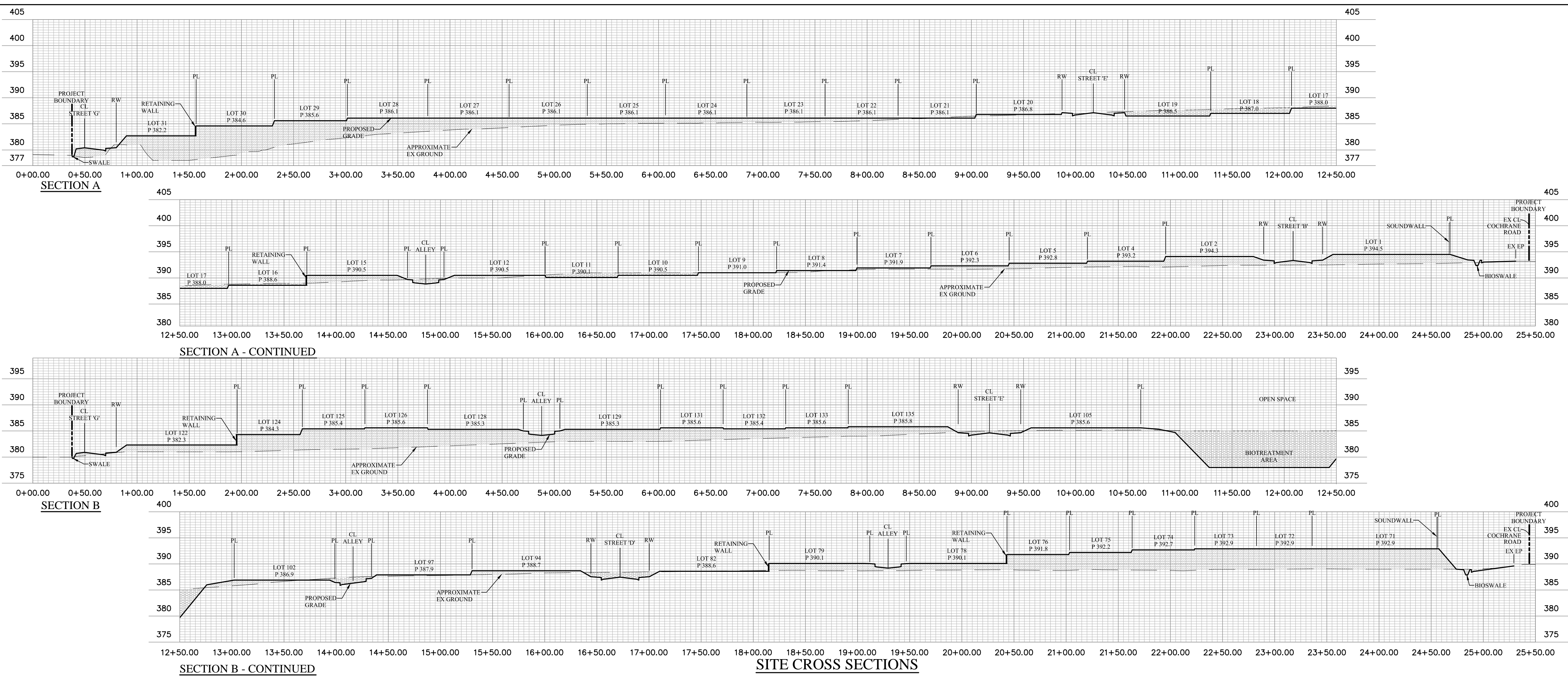
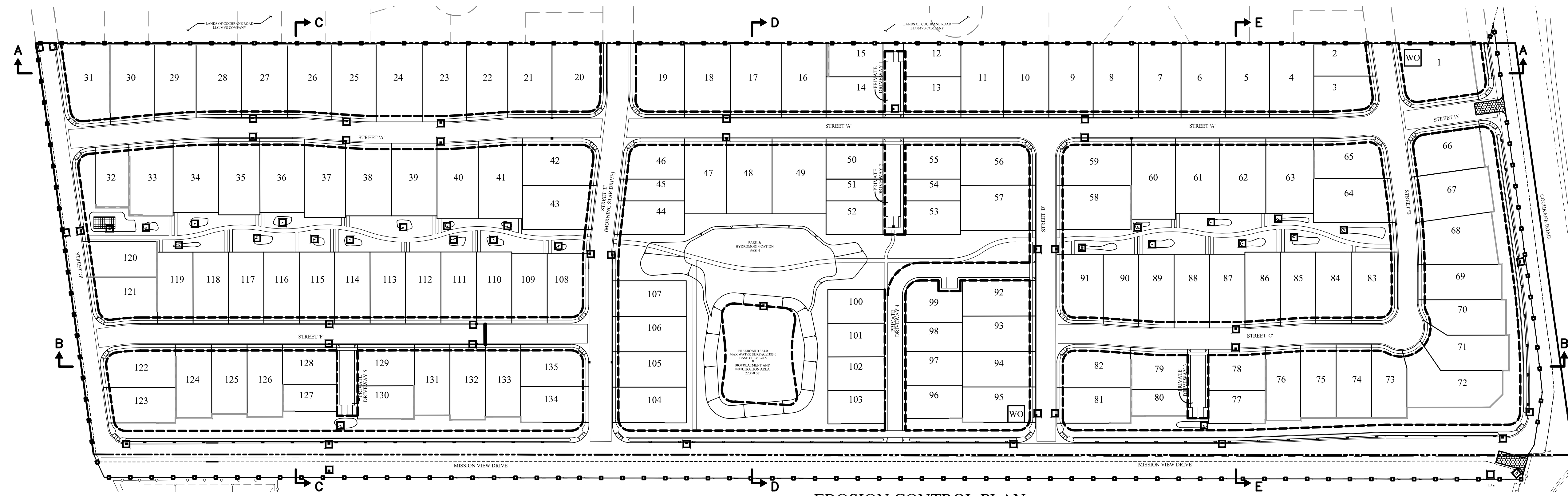
PRECISE DEVELOPMENT PLAN
GRADING PLAN - SOUTH
 LANTANA-WISTERIA
 MORGAN HILL, CALIFORNIA

SCALE	AS SHOWN	DATE	06/30/2015
BY CK			
SHEET REVISIONS			
DATE	MK		
SHEET			
PDP-9			
OF 65 SHEETS			
JOB NO. 132032			

SCALE	AS SHOWN	DATE	06/30/2015
BY/CK			
SHEET REVISIONS			
DATE	MK		
SHEET			
PDP-11			
OF 65 SHEETS			
JOB NO. 132032			

PROPOSED	DESCRIPTION	EXISTING
---	BOUNDARY	---
---	CENTERLINE	---
---	EASEMENT	---
---	PROPERTY LINE	---
---	RIGHT-OF-WAY/FACE OF CURB	---
SD	STORM DRAIN	SD
SS	SANITARY SEWER	SS
W	WATER	W
---	OVERHEAD UTILITY	---
---	GAS	---
---	TELECOMMUNICATION	---
○	MANHOLE	○
---	SIDEWALK	---
○	FIRE HYDRANT	○
○	STORM DRAIN FIELD INLET	○
○	STORM DRAIN CURB INLET	○
○	AREA DRAIN	○
---	SOUND WALL	---
---	RETAINING WALL	---
---	CURB CUT	---
---	HANDICAP RAMP	---
---	LOT NUMBER	---
---	LOT NUMBER W/ DRAINAGE TO REAR YARD	---
---	PAD ELEVATION	---
---	STREET LIGHT	---
---	STORM WATER BMP	---





Lantana

Single Family Homes

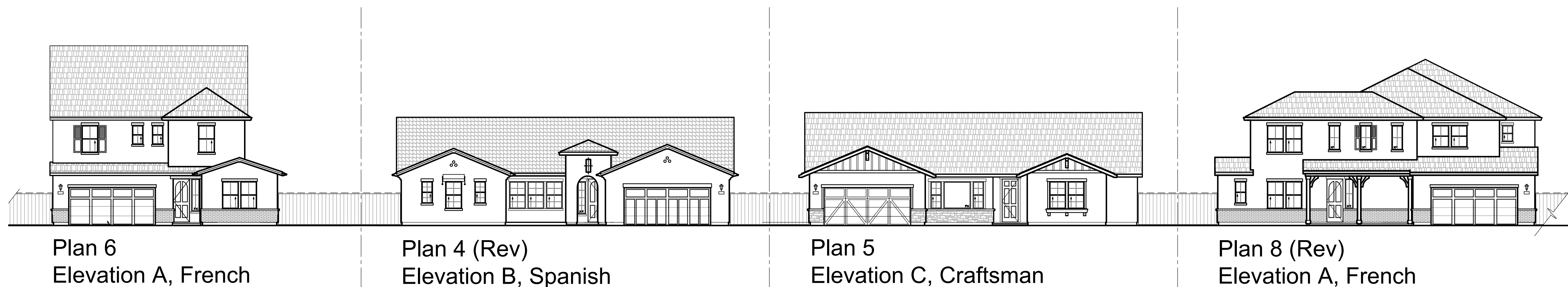
Morgan Hill, CA

for Standard Pacific Homes - East Bay

Design Submittal Drawings

SHEET INDEX

T.1	TITLE SHEET AND STREETScape
A0.1	CONCEPTUAL STREETSCAPES
PLAN 1	
A1.0	PLAN 1x/2x DUET BUILDING ELEVATIONS
A1.1	PLAN 1x/2x DUET BUILDING FIRST FLOOR PLAN
A1.2	PLAN 1x/2x DUET BUILDING SECOND FLOOR PLAN
A1.3	PLAN 1x/2x DUET BUILDING PARTIAL FLOOR PLANS
A1.4	PLAN 1x/2x DUET BUILDING ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A1.5	PLAN 1x/2x DUET BUILDING ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
PLAN 3	
A3.0	PLAN 3 ELEVATIONS
A3.1	PLAN 3 FLOOR PLANS
A3.2	PLAN 3 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A3.3	PLAN 3 PARTIAL FLOOR PLANS
A3.4	PLAN 3 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A3.5	PLAN 3 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN
PLAN 4	
A4.0	PLAN 4 ELEVATIONS
A4.1	PLAN 4 FLOOR PLAN
A4.2	PLAN 4 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A4.3	PLAN 4 PARTIAL FLOOR PLANS
A4.4	PLAN 4 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A4.5	PLAN 4 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN
PLAN 5	
A5.0	PLAN 5 ELEVATIONS
A5.1	PLAN 5 FLOOR PLAN
A5.2	PLAN 5 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A5.3	PLAN 5 PARTIAL FLOOR PLANS
A5.4	PLAN 5 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A5.5	PLAN 5 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN
PLAN 6	
A6.0	PLAN 6 ELEVATIONS
A6.1	PLAN 6 FLOOR PLANS
A6.2	PLAN 6 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A6.3	PLAN 6 PARTIAL FLOOR PLANS
A6.4	PLAN 6 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A6.5	PLAN 6 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN
PLAN 7	
A7.0	PLAN 7 ELEVATIONS
A7.1	PLAN 7 FLOOR PLANS
A7.2	PLAN 7 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A7.3	PLAN 7 PARTIAL FLOOR PLANS
A7.4	PLAN 7 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A7.5	PLAN 7 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN
PLAN 8	
A8.0	PLAN 8 ELEVATIONS
A8.1	PLAN 8 FLOOR PLANS
A8.2	PLAN 8 ELEVATION A, FRENCH, ELEVATIONS AND ROOF PLAN
A8.3	PLAN 8 PARTIAL FLOOR PLANS
A8.4	PLAN 8 ELEVATION B, SPANISH, ELEVATIONS AND ROOF PLAN
A8.5	PLAN 8 ELEVATION C, CRAFTSMAN, ELEVATIONS AND ROOF PLAN



PLAN 1 TOTAL LIVING AREA: 2082 sq. ft. First Floor 889 sq. ft. Second Floor 1193 sq. ft. 2 Car Garage 452 sq. ft. Entry Porch (Elevation A) 53 sq. ft. 3 BR, 2.5 BA Master Closet Pole: 28'-9" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 2 TOTAL LIVING AREA: 2326 sq. ft. First Floor 1057 sq. ft. Second Floor 1269 sq. ft. 2 Car Garage 468 sq. ft. Entry Porch (Elevation A) 70 sq. ft. 4 BR, 3 BA with Loft Master Closet Pole: 25'-0" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 3 TOTAL LIVING AREA: 2408 sq. ft. First Floor 1140 sq. ft. Second Floor 1268 sq. ft. 2 Car Garage 441 sq. ft. Entry Porch (Elevation A) 64 sq. ft. Unconditioned Covered Patio 108 sq. ft. Opt. Unconditioned Covered Patio Extension 96 sq. ft. 4 BR, 3 BA with Loft Master Closet Pole: 27'-8" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 4 TOTAL LIVING AREA: 2953 sq. ft. First Floor 2953 sq. ft. 2 Car Garage 602 sq. ft. Entry Porch (Elevation A) 63 sq. ft. Opt. Unconditioned Covered Patio 245 sq. ft. 4 BR, 3.5 BA Master Closet Pole: 32'-4" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 5 TOTAL LIVING AREA: 3208 sq. ft. First Floor 3208 sq. ft. 2 Car Garage 496 sq. ft. Front Porch (Elevation A) 46 sq. ft. Opt. Unconditioned Covered Patio 276 sq. ft. 4 BR, 3.5 BA Master Closet Pole: 32'-8" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 6 TOTAL LIVING AREA: 3424 sq. ft. First Floor 1690 sq. ft. Second Floor 1734 sq. ft. 3 Car Garage 630 sq. ft. Entry Porch (Elevation A) 42 sq. ft. Opt. Unconditioned Covered Patio 195 sq. ft. 5 BR, 4 BA 1st Fir. Den Option, Dining Rm. Option Bonus Rm Option (I.L.O. 1-car garage add 228 sq. ft.) 2nd Fir. Bedrm. 6 Option Master Closet Pole: 33'-2" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	PLAN 7 TOTAL LIVING AREA: 3646 sq. ft. First Floor 1447 sq. ft. Second Floor 2199 sq. ft. 1 Car Garage 228 sq. ft. 2 Car Garage 498 sq. ft. Entry Porch (Elevation A) 102 sq. ft. Unconditioned Covered Patio 206 sq. ft. 5 BR, 4 BA 1st Fir. Den Option, Dining Rm. Option Bonus Rm Option (I.L.O. 1-car garage add 228 sq. ft.) 2nd Fir. Bedrm. 6 Option Master Closet Pole: 44'-4" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage, U.N.O.</small>	PLAN 8 TOTAL LIVING AREA: 3928 sq. ft. First Floor 1998 sq. ft. Second Floor 1930 sq. ft. 3 Car Garage 769 sq. ft. Entry Porch (Elevation A) 108 sq. ft. Opt. Unconditioned Covered Patio 361 sq. ft. 5 BR, 4.5 BA 2nd Fir. Bedrm. 6 Option Master Closet Pole: 40'-6" <small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>
--	---	---	--	--	--	--	--

Title Sheet

LANTANA
for STANDARD PACIFIC HOMES

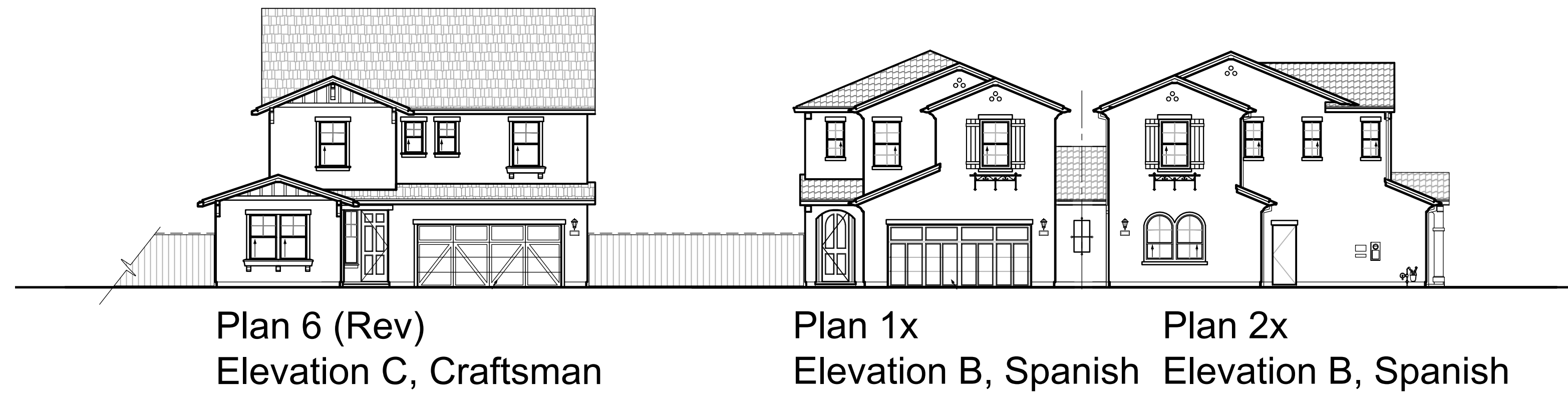
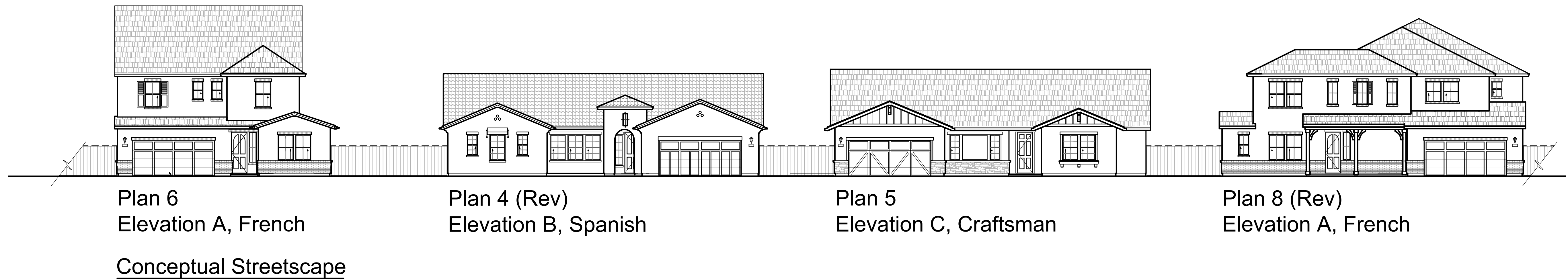


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

T.1



Conceptual
Streetscapes

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A0.1



- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

PLAN 1X FRONT ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X FRONT ELEVATION A, FRENCH

PLAN 2X FRONT ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"

CARRIAGE-STYLE ALUMINUM GARAGE DOOR



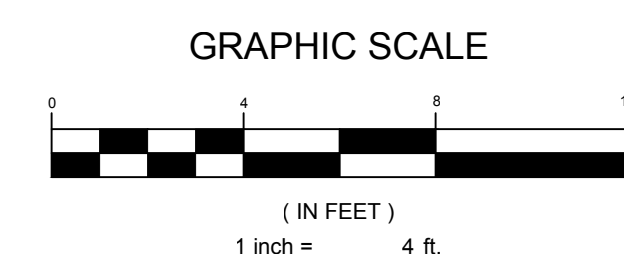
- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

PLAN 1X FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X FRONT ELEVATION B, SPANISH

PLAN 2X FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

CARRIAGE-STYLE ALUMINUM GARAGE DOOR

LANTANA
 for STANDARD PACIFIC HOMES



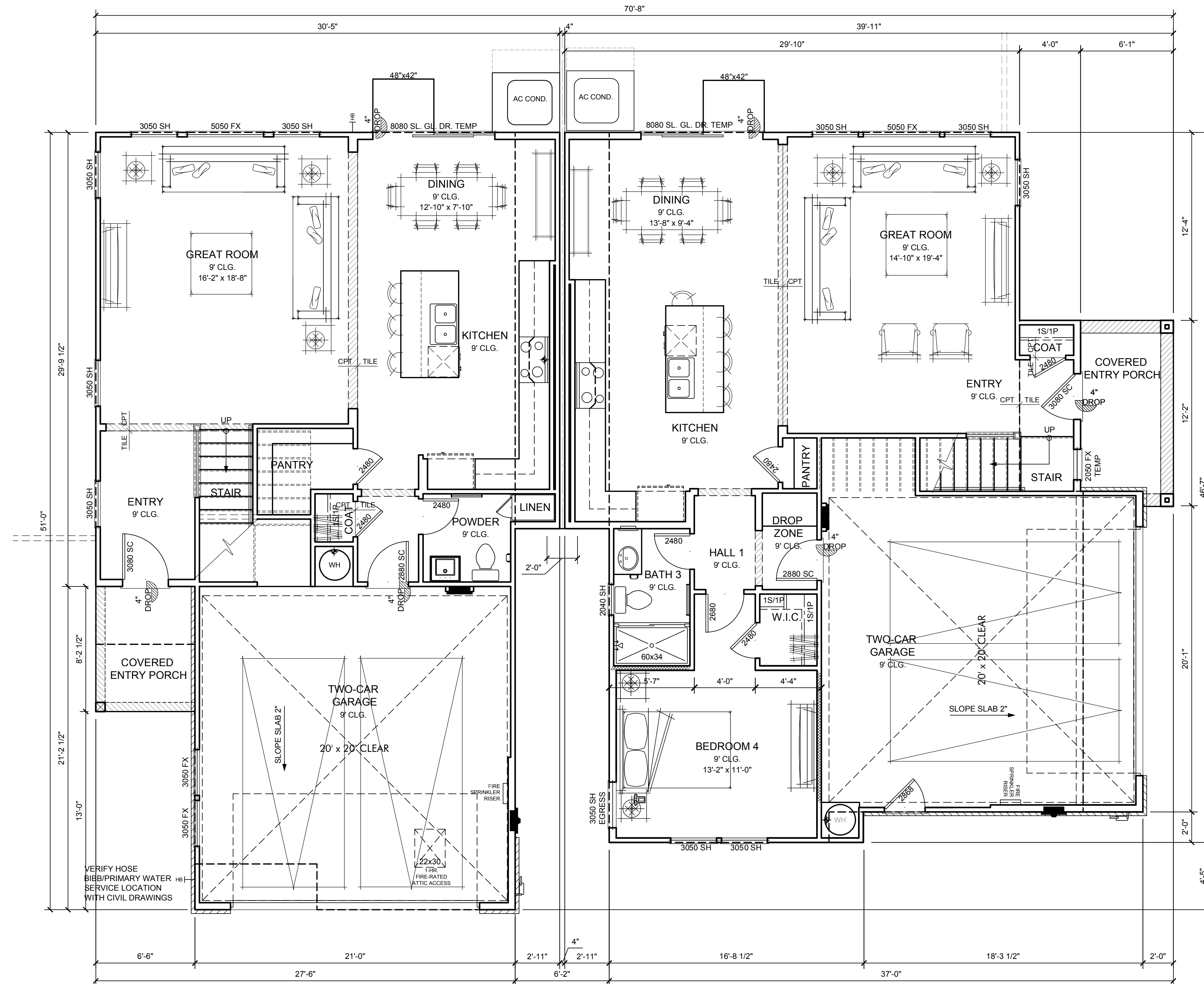
5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 1x/2x Duet Bldg. Elevations

JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A1.0



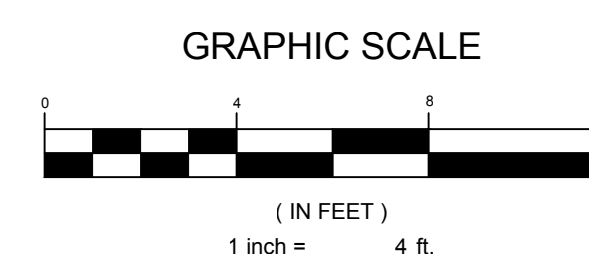
PLAN 1X
FIRST FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

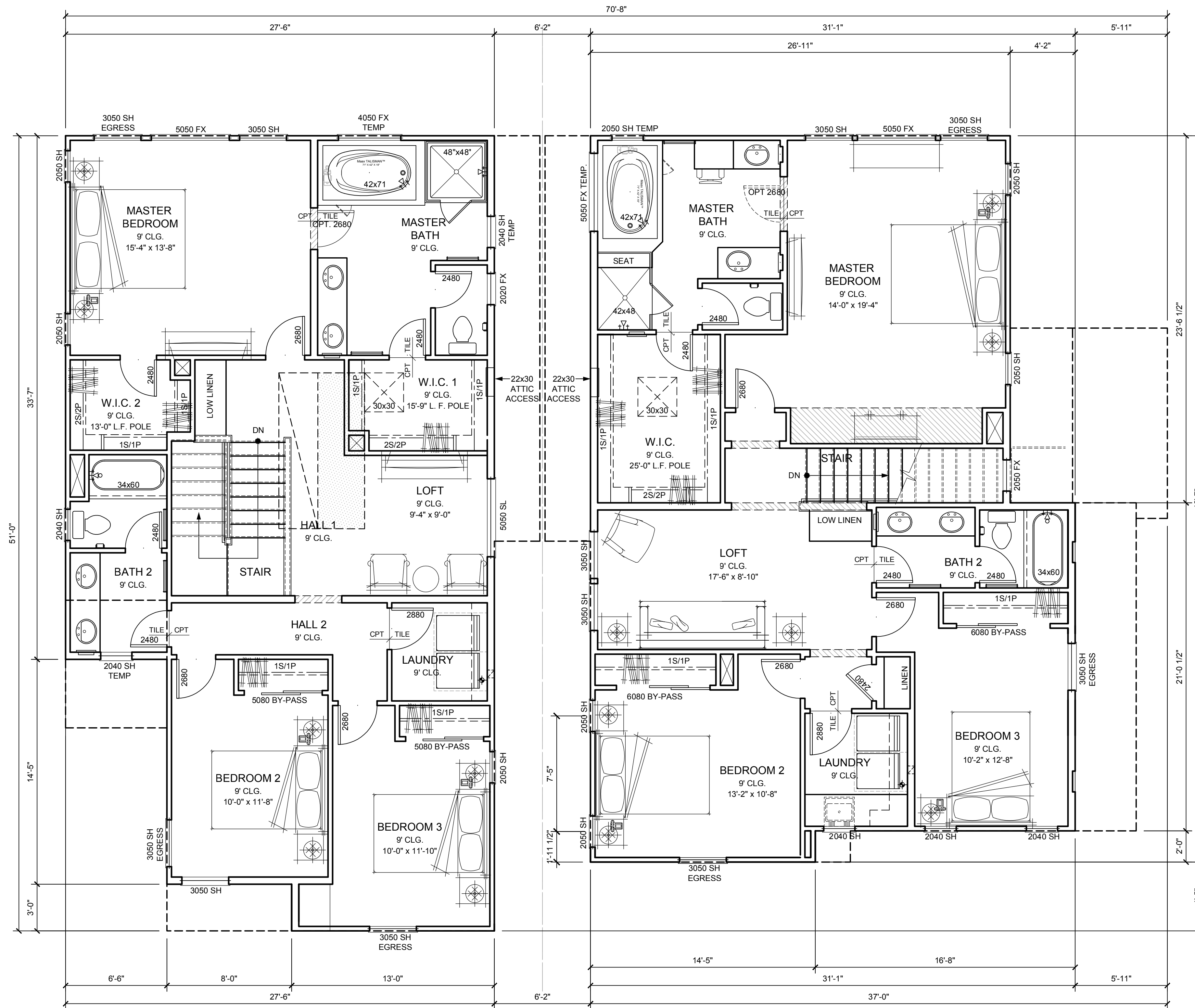
PLAN 2X
FIRST FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

BUILDING 1 / 2, FIRST FLOOR PLAN, ELEVATION A, FRENCH

PLAN 1	
TOTAL LIVING AREA:	2082 sq. ft.
First Floor	889 sq. ft.
Second Floor	1193 sq. ft.
2 Car Garage	452 sq. ft.
Entry Porch (Elevation A)	53 sq. ft.
3 BR., 2.5 BA. Master Closet Pole: 28'-9"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	
PLAN 2	
TOTAL LIVING AREA:	2326 sq. ft.
First Floor	1057 sq. ft.
Second Floor	1269 sq. ft.
2 Car Garage	468 sq. ft.
Entry Porch (Elevation A)	70 sq. ft.
4 BR., 3 BA with Loft Master Closet Pole: 25'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

Plan 1x/2x Duet Bldg.
First Floor Plan





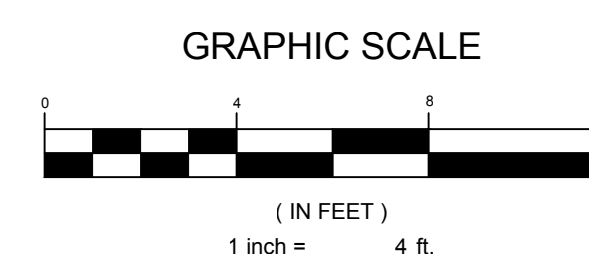
PLAN 1X
SECOND FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

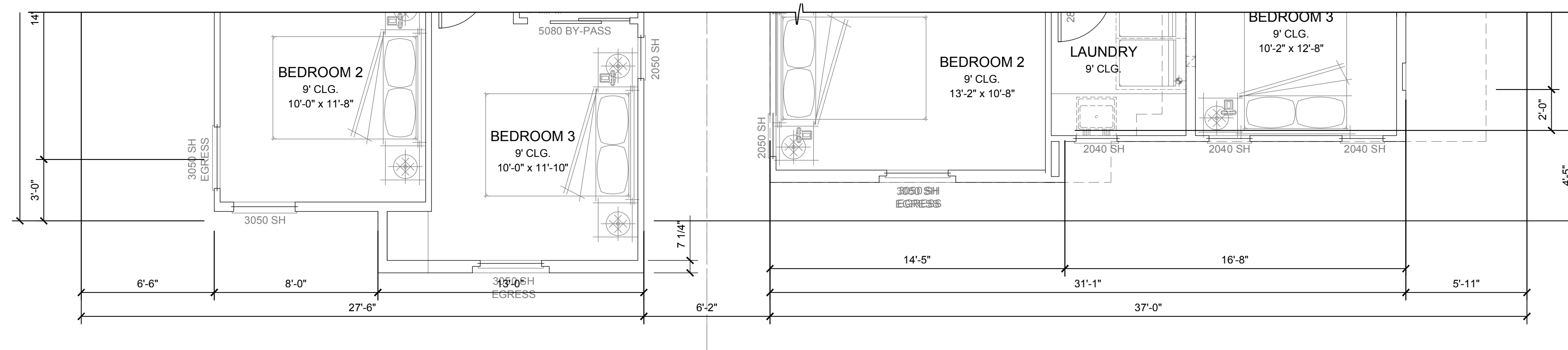
PLAN 2X
SECOND FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

BUILDING 1 / 2, SECOND FLOOR PLAN, ELEVATION A, FRENCH

PLAN 1	
TOTAL LIVING AREA:	2082 sq. ft.
First Floor	889 sq. ft.
Second Floor	1193 sq. ft.
2 Car Garage	452 sq. ft.
Entry Porch (Elevation A)	53 sq. ft.
3 BR, 2.5 BA Master Closet Pole: 28'-9"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	
PLAN 2	
TOTAL LIVING AREA:	2326 sq. ft.
First Floor	1057 sq. ft.
Second Floor	1269 sq. ft.
2 Car Garage	468 sq. ft.
Entry Porch (Elevation A)	70 sq. ft.
4 BR, 3 BA with Loft Master Closet Pole: 25'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

Plan 1x/2x Duet Bldg.
Second Floor Plans





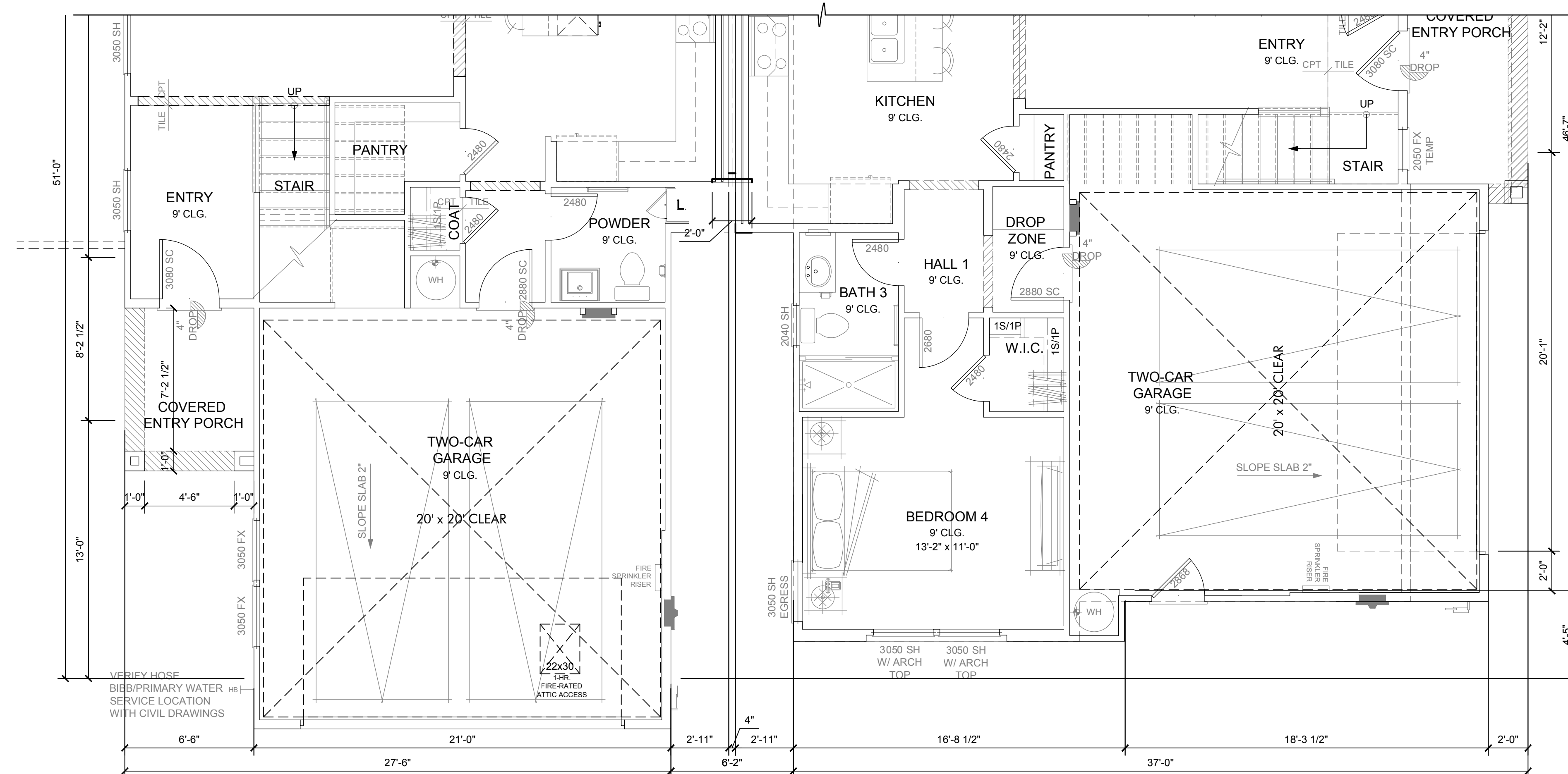
PLAN 1X
SECOND FLOOR PLAN
ELEVATION B, SPANISH

SCALE: 1/8" = 1'-0"

BUILDING 1 / 2, SECOND FLOOR PLAN, ELEVATION B, SPANISH

PLAN 2X
SECOND FLOOR PLAN
ELEVATION B, SPANISH

SCALE: 1/8" = 1'-0"



PLAN 1X
FIRST FLOOR PLAN
ELEVATION B, SPANISH

SCALE: 1/8" = 1'-0"

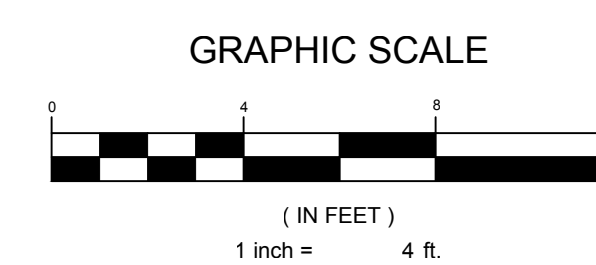
BUILDING 1 / 2, FIRST FLOOR PLAN, ELEVATION B, SPANISH

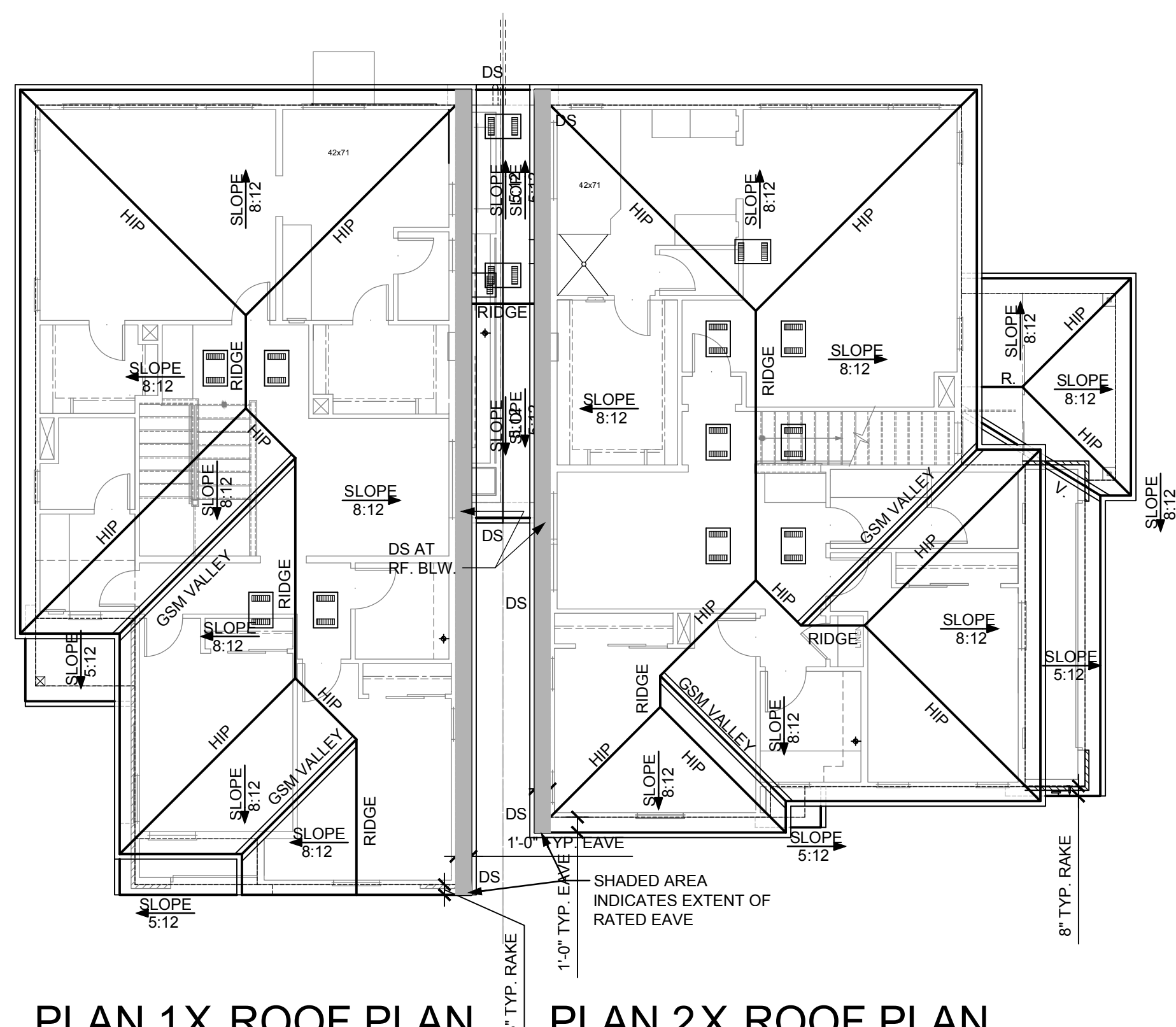
PLAN 2X
FIRST FLOOR PLAN
ELEVATION B, SPANISH

SCALE: 1/8" = 1'-0"

PLAN 1	
TOTAL LIVING AREA:	2082 sq. ft.
First Floor	889 sq. ft.
Second Floor	1193 sq. ft.
2 Car Garage	452 sq. ft.
Entry Porch (Elevation A)	53 sq. ft.
3 BR, 2.5 BA Master Closet Pole: 28'-9"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	
PLAN 2	
TOTAL LIVING AREA:	2326 sq. ft.
First Floor	1057 sq. ft.
Second Floor	1269 sq. ft.
2 Car Garage	468 sq. ft.
Entry Porch (Elevation A)	70 sq. ft.
4 BR, 3 BA with Loft Master Closet Pole: 25'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

Plan 1/2
Partial Floor Plans

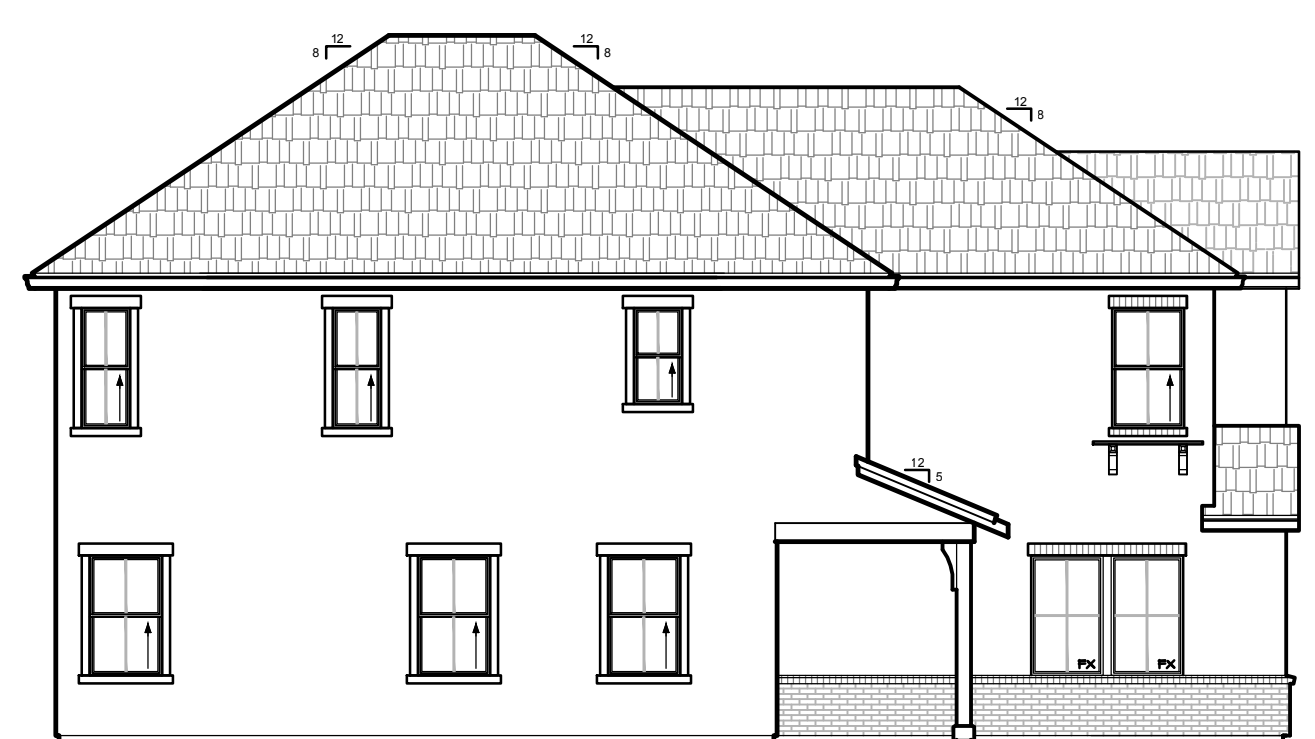




PLAN 1X ROOF PLAN ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"
PLAN 2X ROOF PLAN ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"
BUILDING 1X/2X ROOF PLAN ELEVATION A, FRENCH



PLAN 1X FRONT ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
PLAN 2X FRONT ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X FRONT ELEVATION A, FRENCH



PLAN 1X LEFT SIDE, ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X LEFT SIDE ELEVATION A, FRENCH



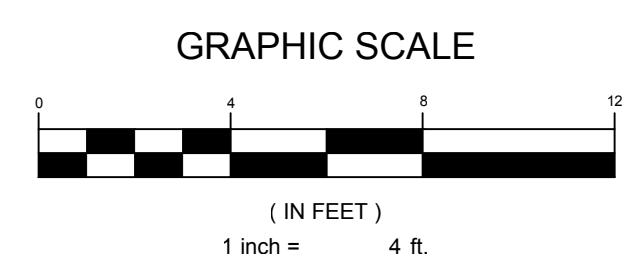
PLAN 2X REAR ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
PLAN 1X REAR, ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X REAR ELEVATION A, FRENCH



PLAN 2X RIGHT SIDE ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"
BUILDING 1X/2X RIGHT SIDE ELEVATION A, FRENCH

- A - FRENCH**
- ROOF MATERIAL:**
 - COMPOSITION SHINGLE ROOFING
 - EXTERIOR FINISHES:**
 - STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
 - WINDOWS & DOORS:**
 - SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
 - TRIM/ACCENT:**
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
 - PORCH:**
 - SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

LANTANA
 for STANDARD PACIFIC HOMES



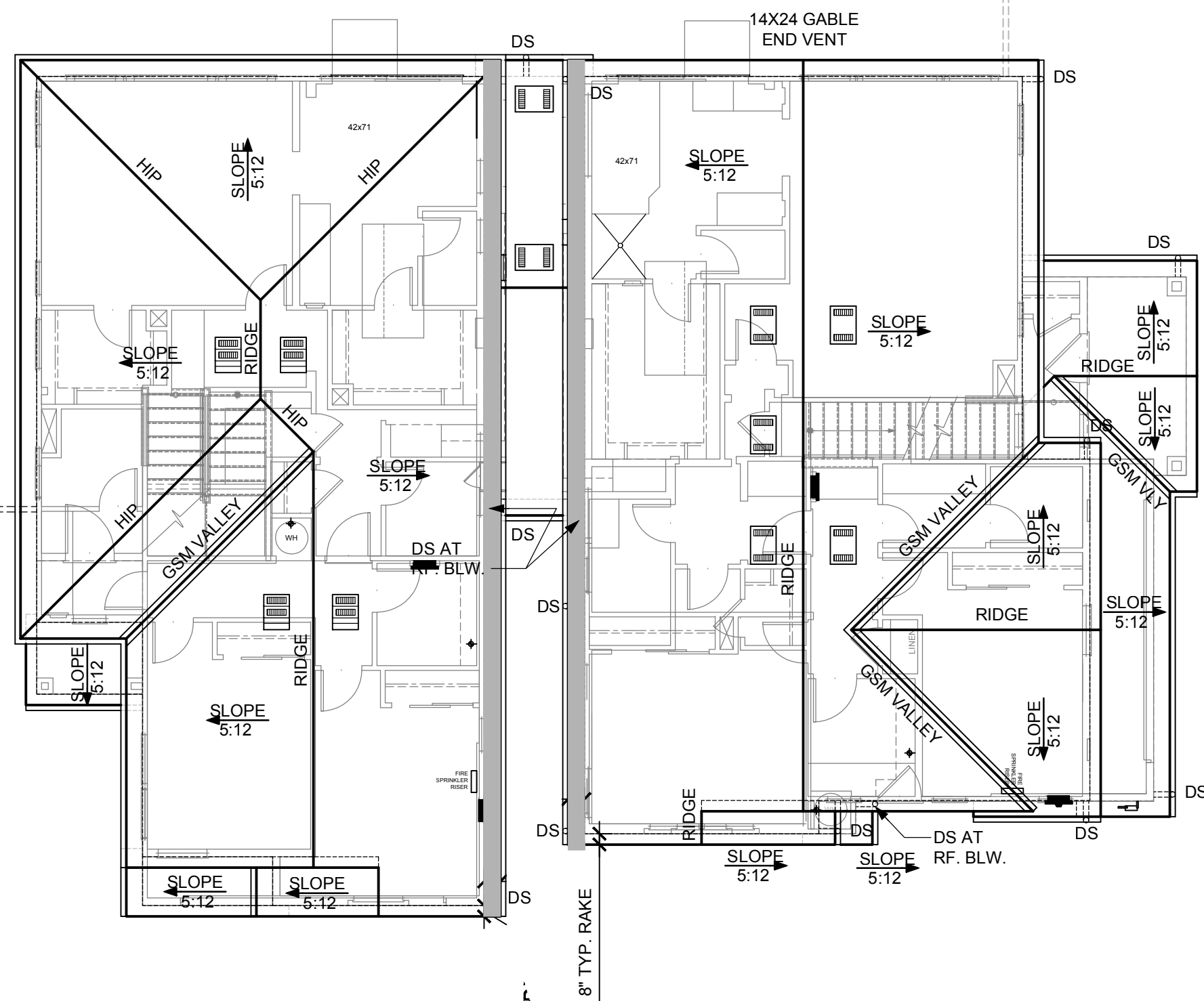
5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

**Building 1X/2X
 Elevation A, French
 Elevations and Roof Plan**

JOB NO. 360.047
 DATE: Residential Planned Development Review 08-29-2014

A1.4

J:\360\047_Lantana\Arch\Plot\SD\360047_A1-204 Bldg 1-2A_Fr.dwg, 8/28/2014 9:23:01 AM, kmiles



PLAN 1X ROOF PLAN
ELEVATION B, SPANISH
 SCALE: 1/8" = 1'-0"

PLAN 2X ROOF PLAN
ELEVATION B, SPANISH
 SCALE: 1/8" = 1'-0"

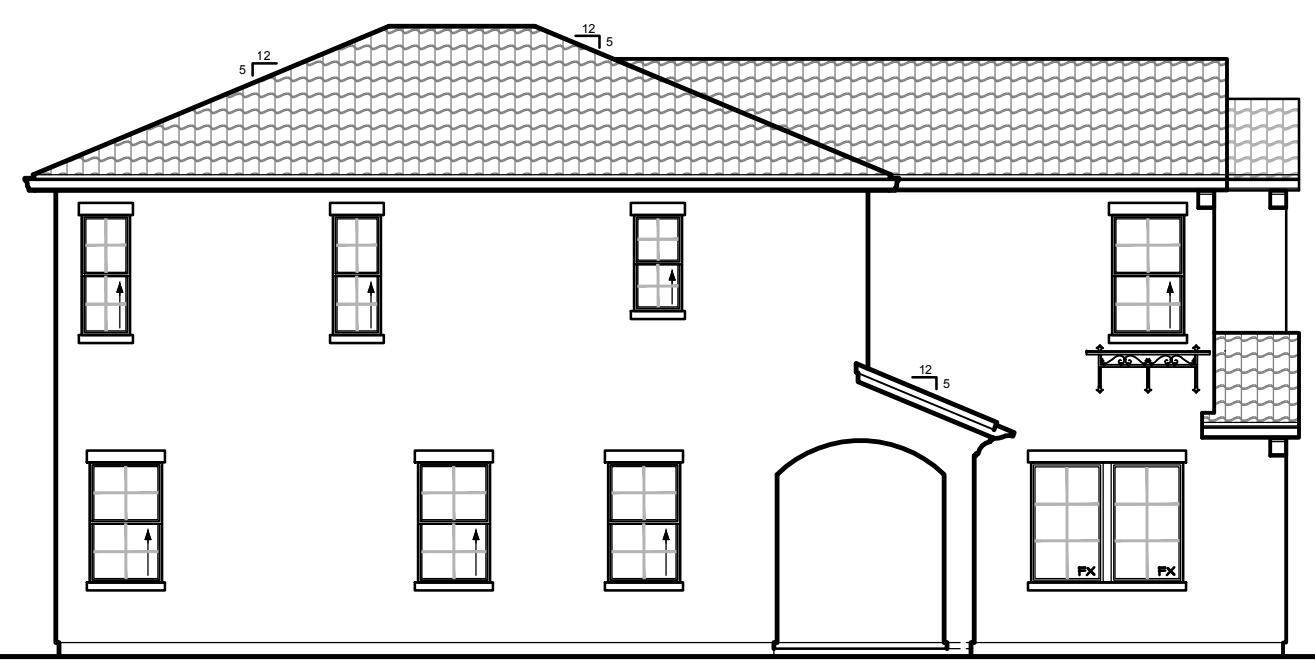
BUILDING 1X/2X ROOF PLAN
ELEVATION B, SPANISH



PLAN 1X FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

PLAN 2X FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

BUILDING 1X/2X FRONT ELEVATION B, SPANISH



PLAN 1X LEFT SIDE ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

BUILDING 1X/2X LEFT SIDE ELEVATION B, SPANISH



PLAN 2X REAR ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

PLAN 1X REAR ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

BUILDING 1X/2X REAR ELEVATION B, SPANISH

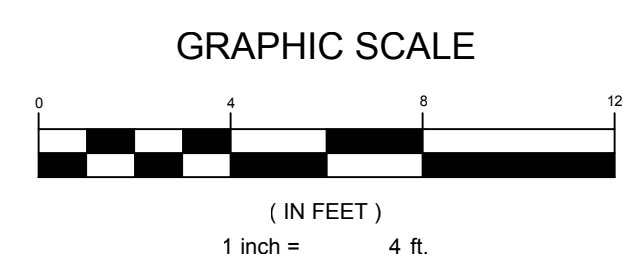


PLAN 2X RIGHT SIDE ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

BUILDING 1X/2X RIGHT SIDE ELEVATION B, SPANISH

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

**Building 1X/2X
 Elevation B, Spanish
 Elevations and Roof Plan**

JOB NO. 360.047

DATE: **A1.5**
 Residential Planned Development Review 08-29-2014

J:\360\047_Lantana\Arch\Plot\SD\360047_A1-205 Bldg 1-2B_Span.dwg, 8/28/2014 9:23:10 AM, kmiles

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHLF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



PLAN 3 FRONT ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHLF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 3 FRONT ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

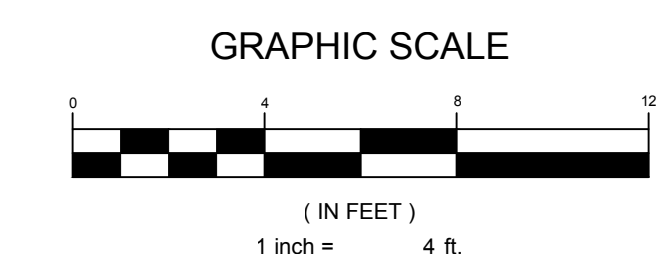


PLAN 3 FRONT ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

Plan 3 Elevations

LANTANA
for STANDARD PACIFIC HOMES

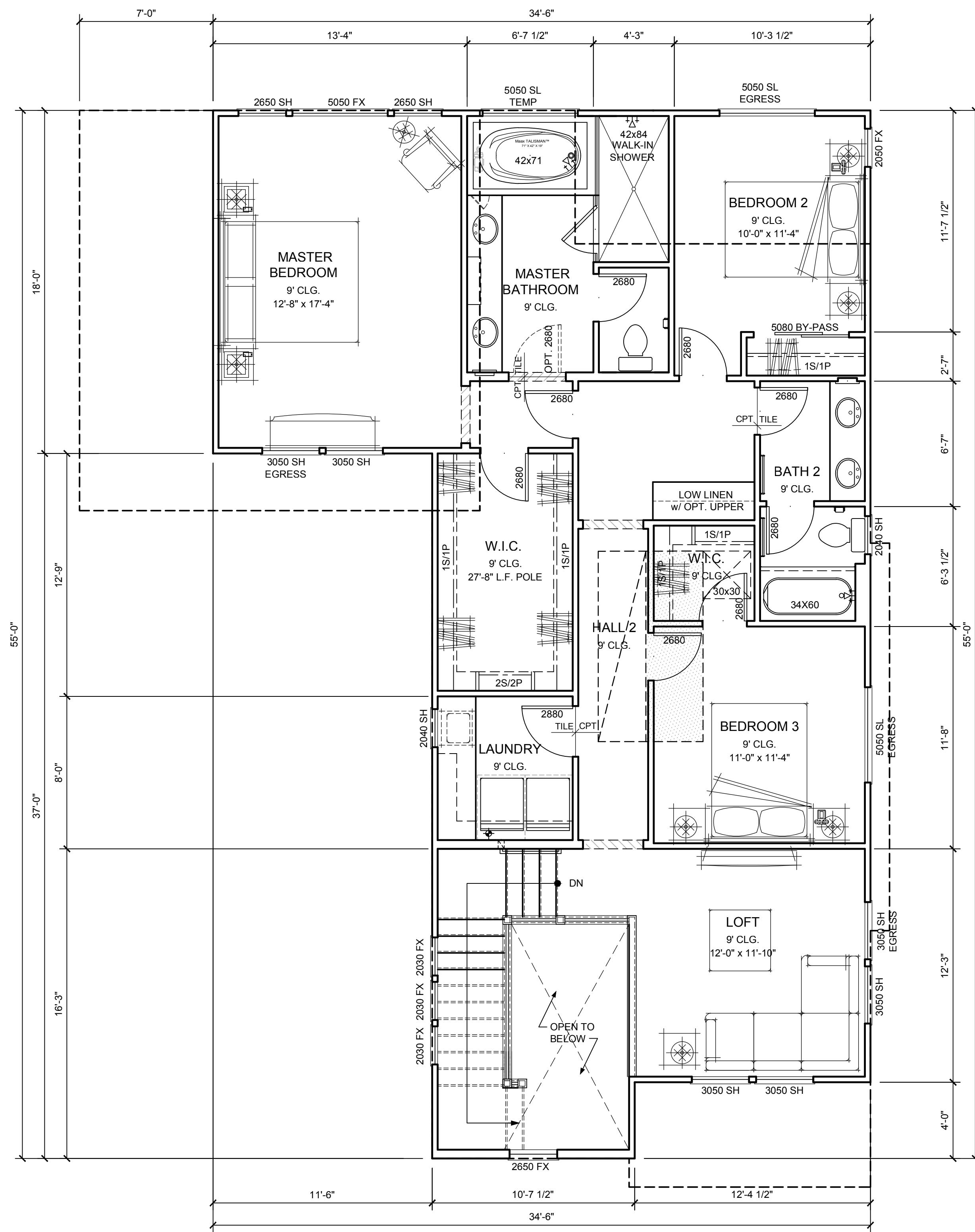


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.047

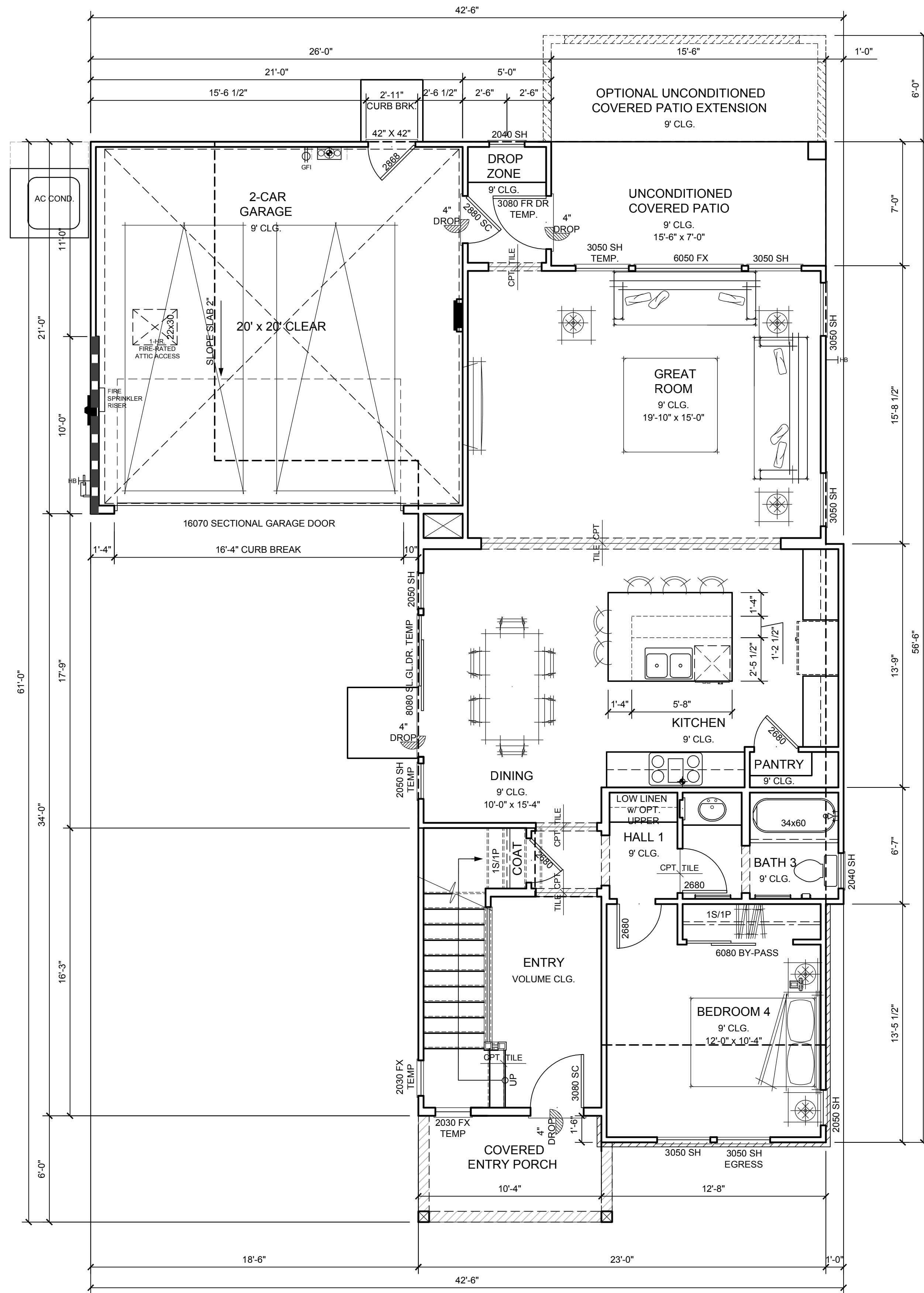
DATE: Residential Planned Development Review 08-29-2014

A3.0



PLAN 3 SECOND FLOOR PLAN, ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"



PLAN 3 FIRST FLOOR PLAN, ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

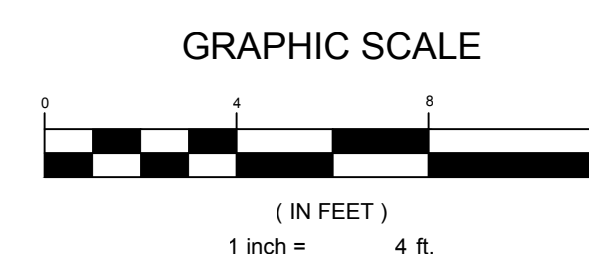
PLAN 3	
TOTAL LIVING AREA:	2408 sq. ft.
First Floor	1140 sq. ft.
Second Floor	1268 sq. ft.
2 Car Garage	441 sq. ft.
Entry Porch (Elevation A)	64 sq. ft.
Unconditioned Covered Patio	108 sq. ft.
Opt. Unconditioned Covered Patio Extension	96 sq. ft.
4 BR, 3 BA with Loft	
Master Closet Pole: 27'-8"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 3
Floor Plans**

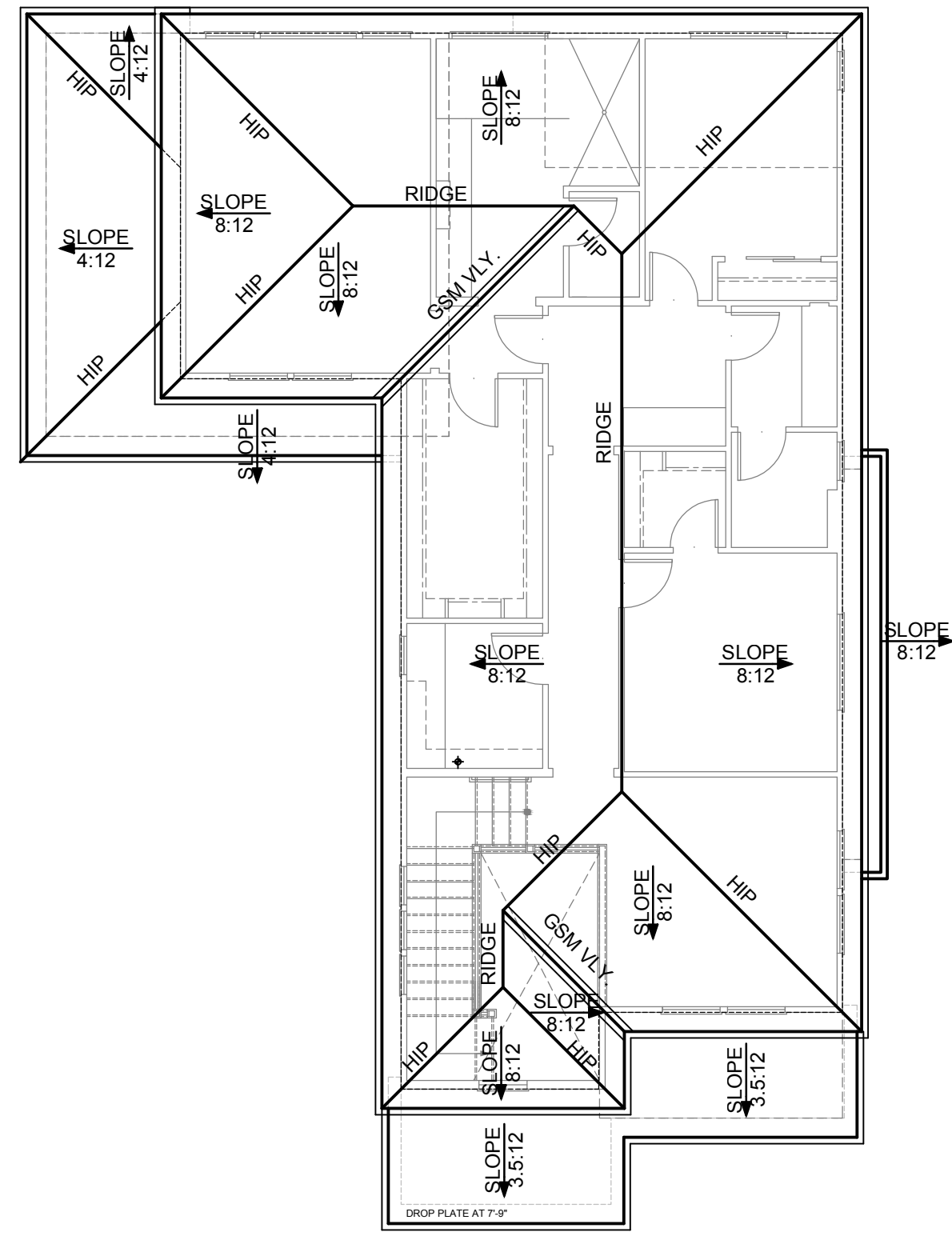
JOB NO. 360.047

DATE: **A3.1**
Residential Planned Development Review 08-29-2014

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

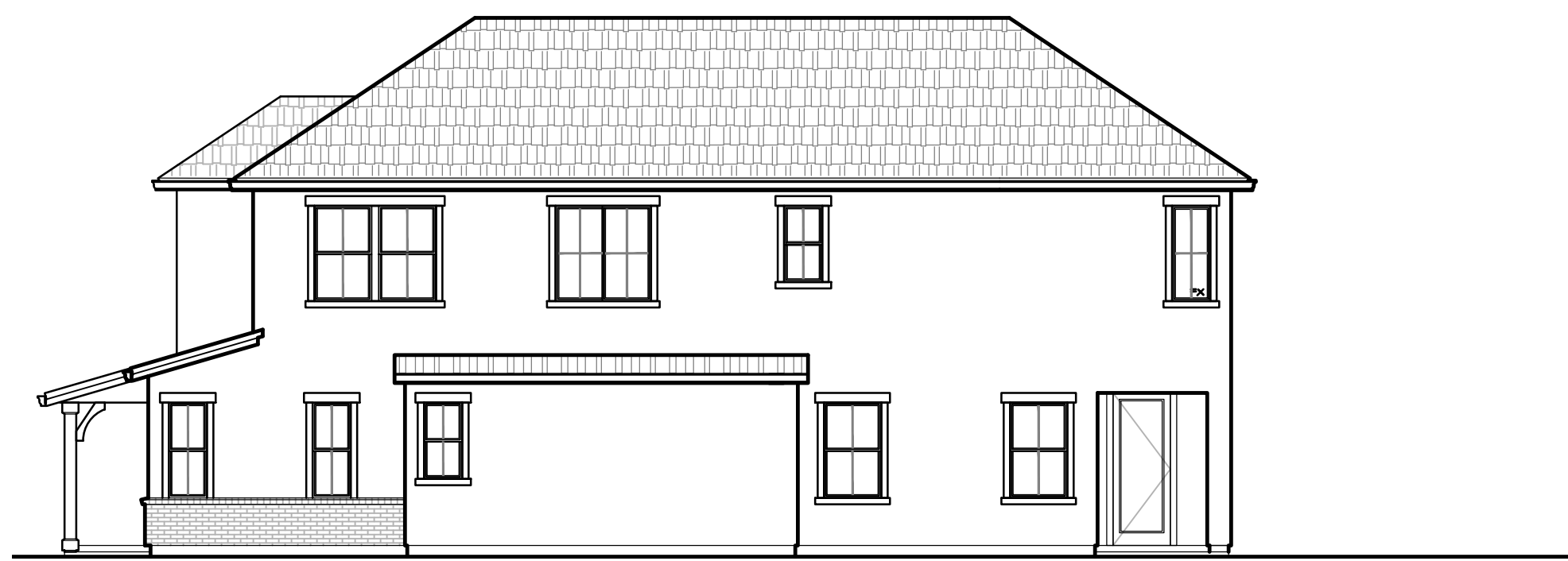


**PLAN 3 ROOF PLAN
ELEVATION A, FRENCH**
SCALE: 1/8" = 1'-0"



PLAN 3 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

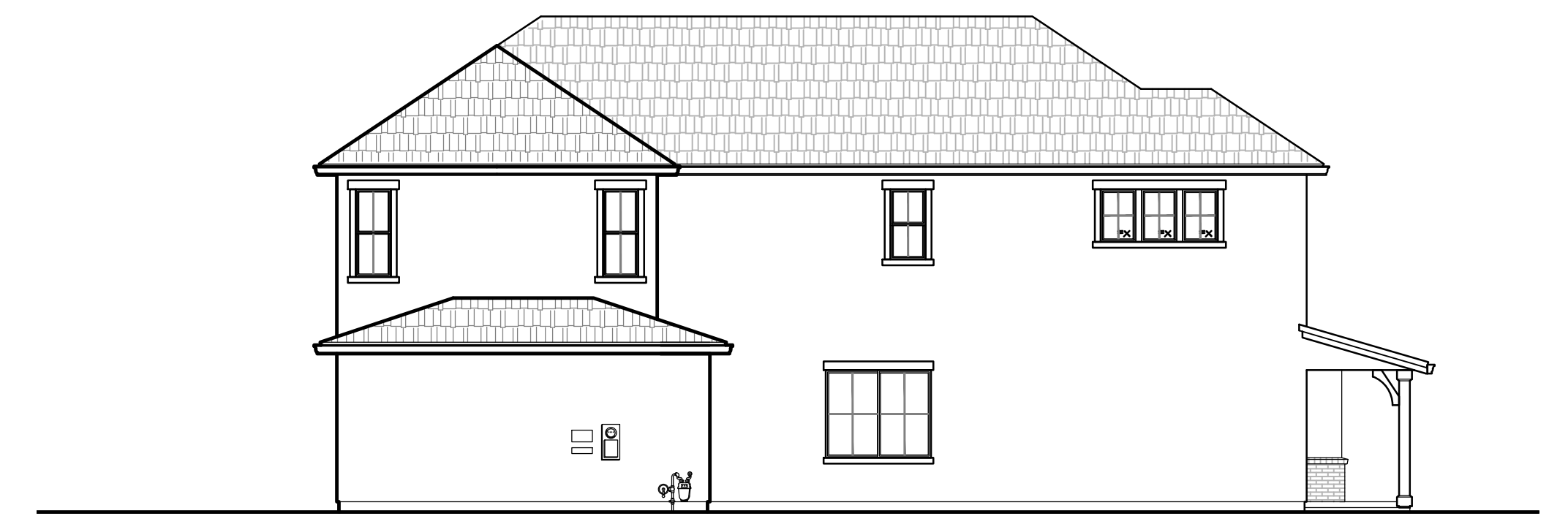
- A - FRENCH**
- ROOF MATERIAL:**
 - COMPOSITION SHINGLE ROOFING
 - EXTERIOR FINISHES:**
 - STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
 - WINDOWS & DOORS:**
 - SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
 - TRIM/ACCENT:**
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
 - PORCH:**
 - SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



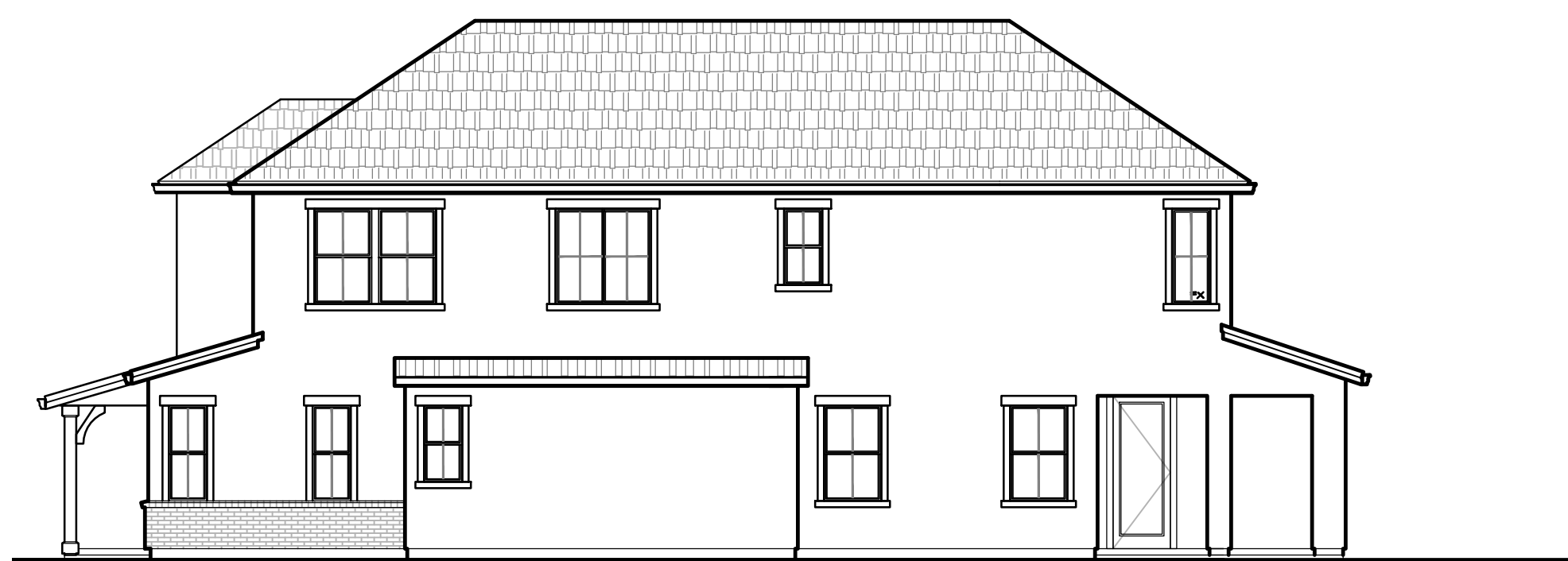
PLAN 3 RIGHT SIDE ELEVATION A, FRENCH



PLAN 3 REAR ELEVATION A, FRENCH



PLAN 3 LEFT SIDE ELEVATION A, FRENCH

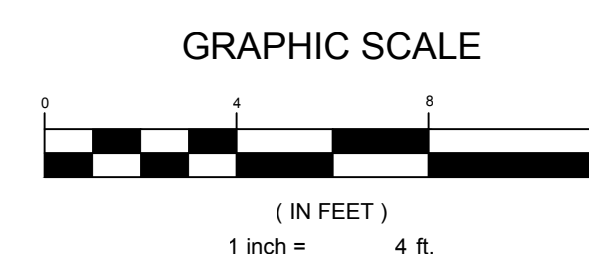


PLAN 3 RIGHT SIDE ELEVATION A OPTIONAL COVERED OUTDOOR LIVING



PLAN 3 REAR ELEVATION A OPTIONAL COVERED OUTDOOR LIVING

LANTANA
for STANDARD PACIFIC HOMES



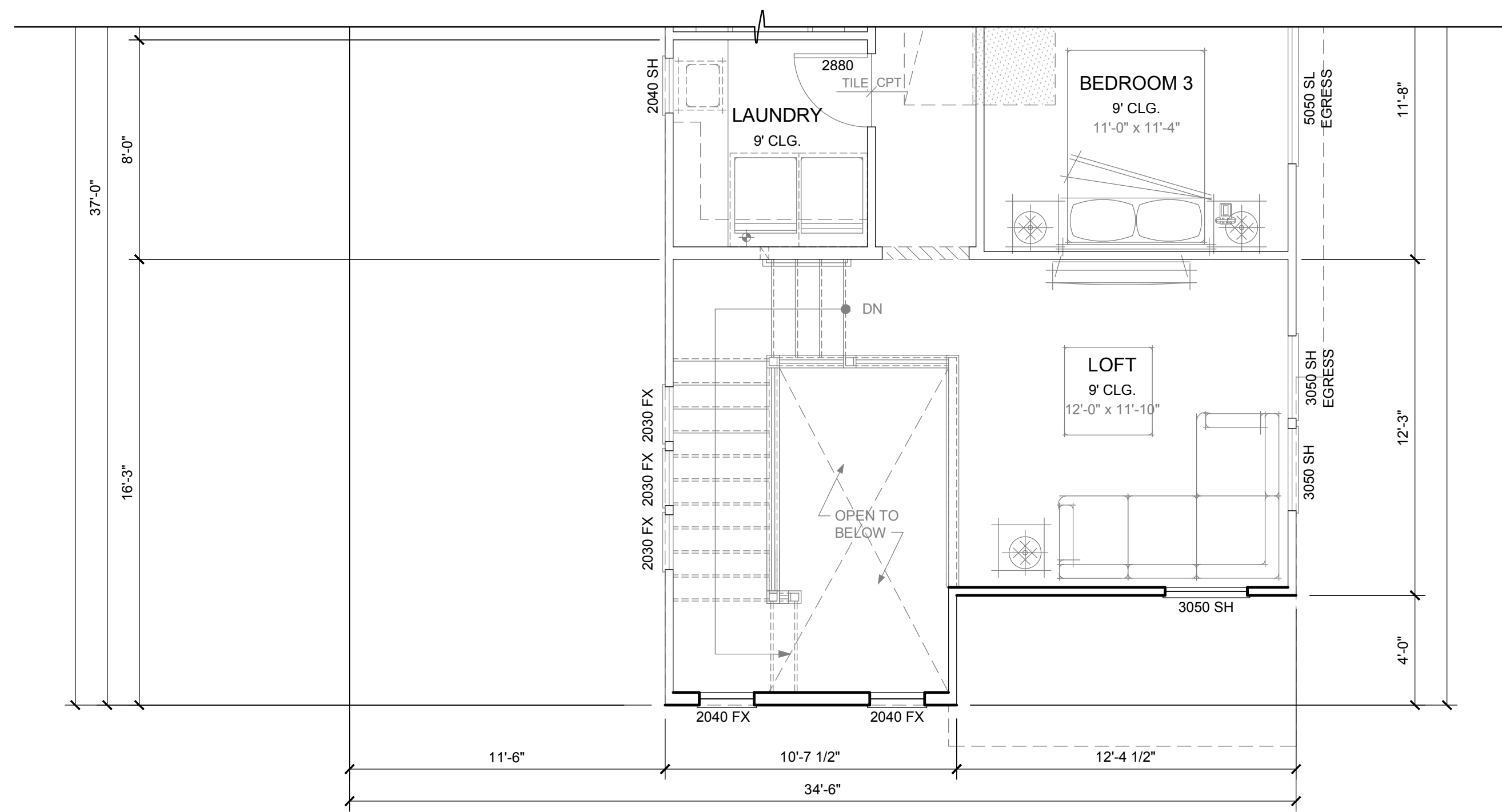
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 3
Elevation A, French
Elevations & Roof Plan**

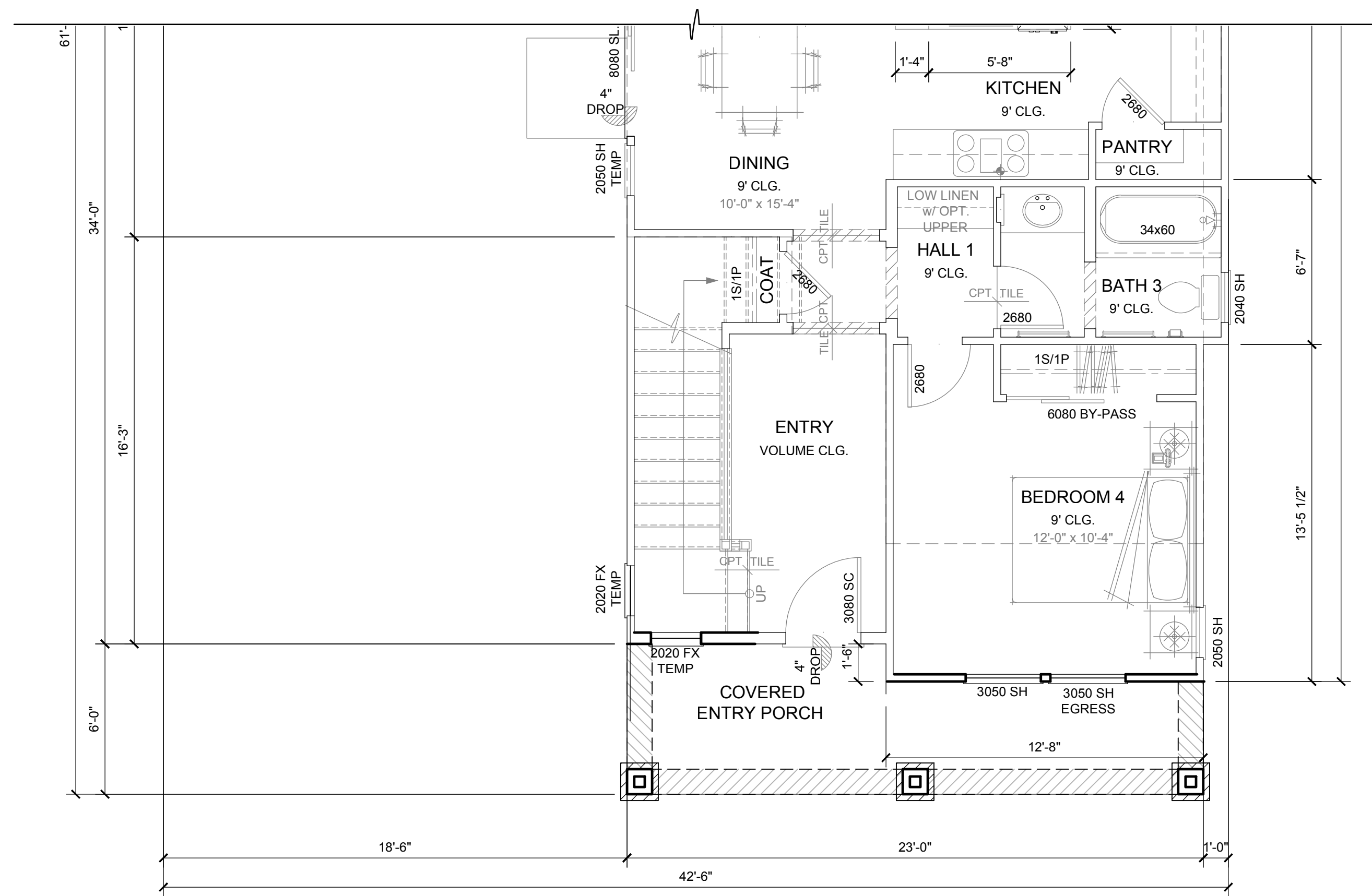
JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

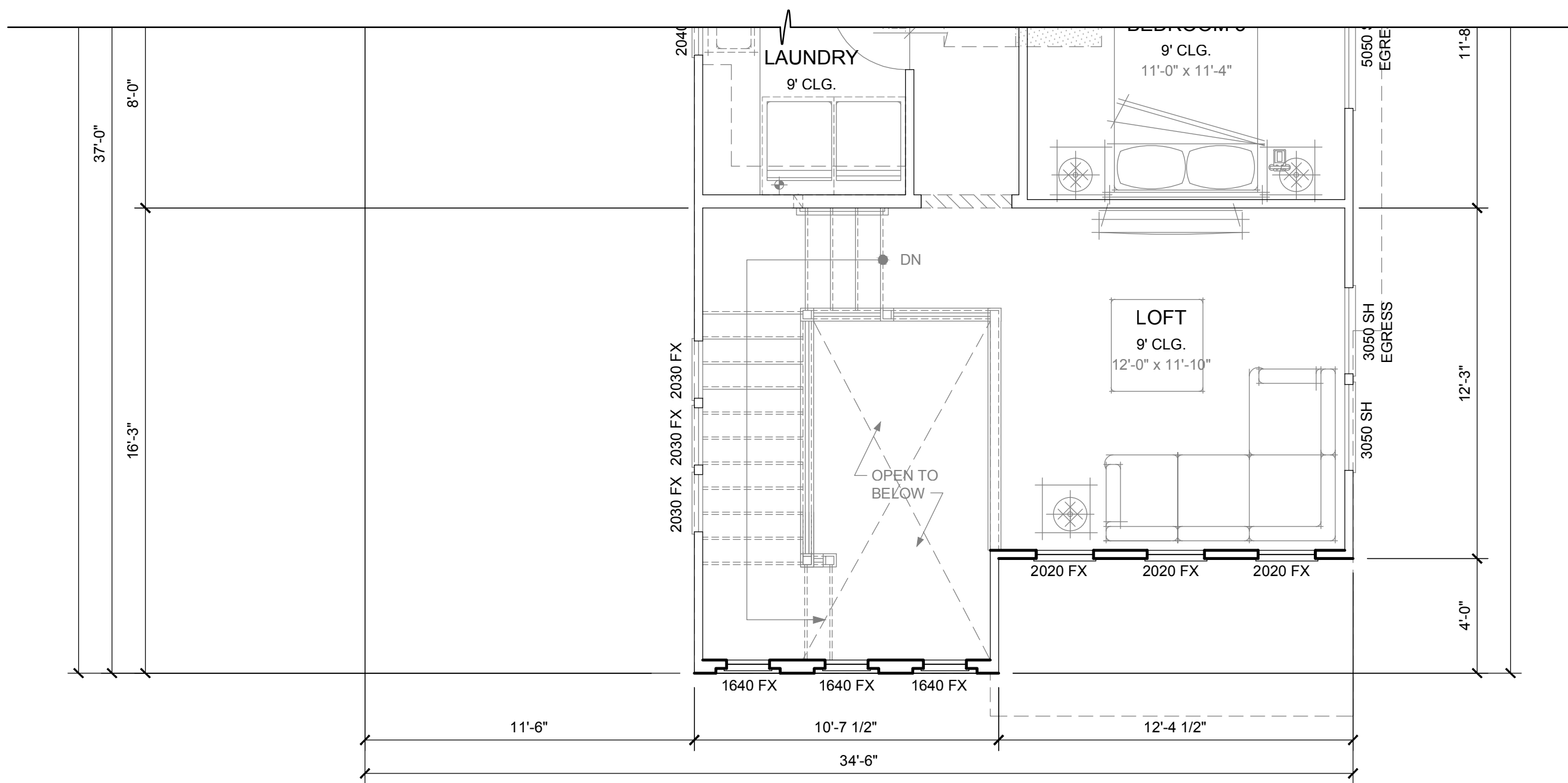
A3.2



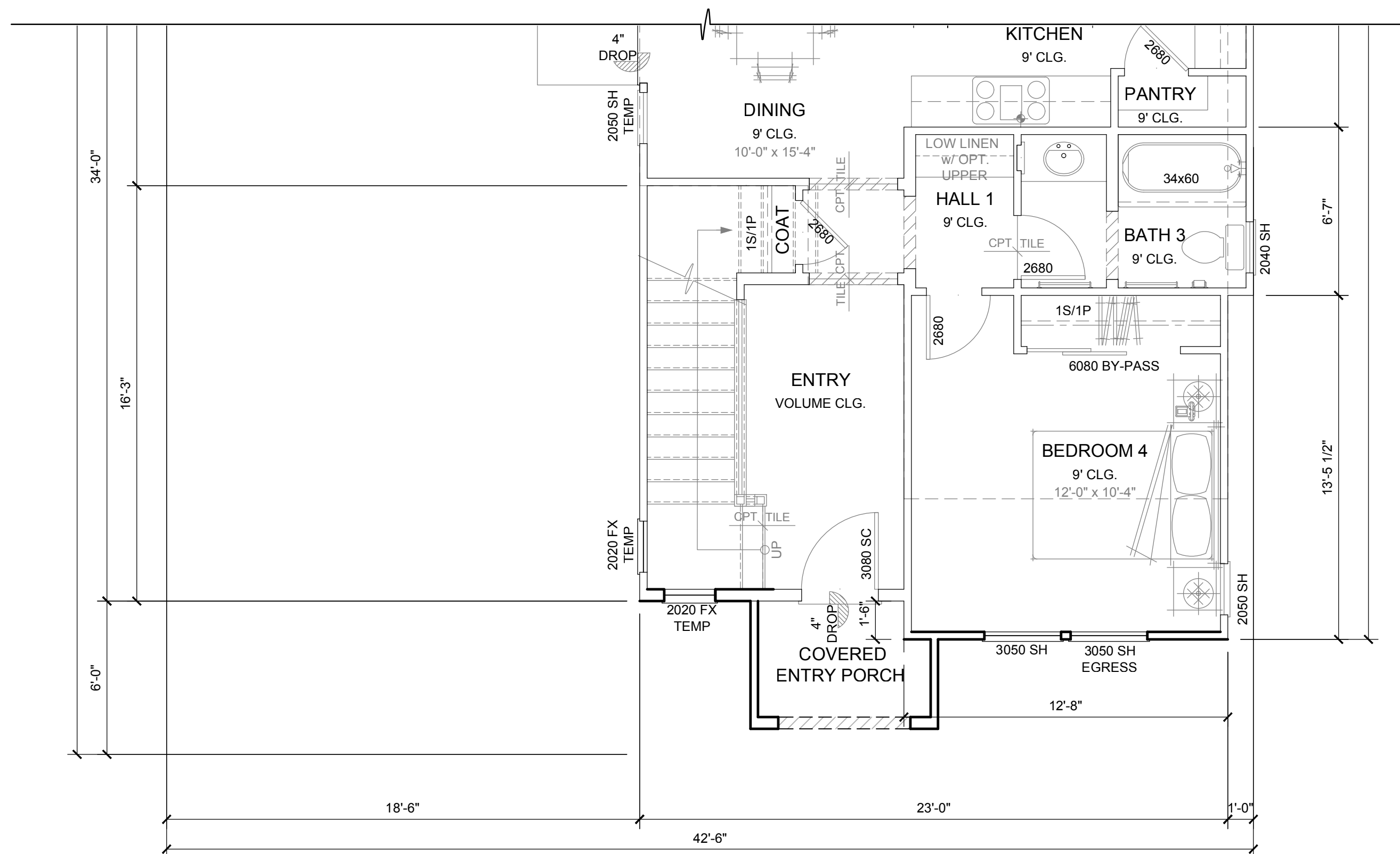
PLAN 3 SECOND FLOOR PLAN, ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"



PLAN 3 FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"

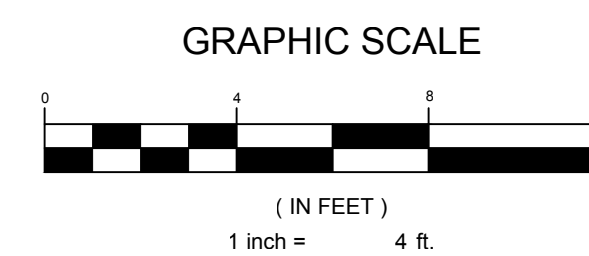


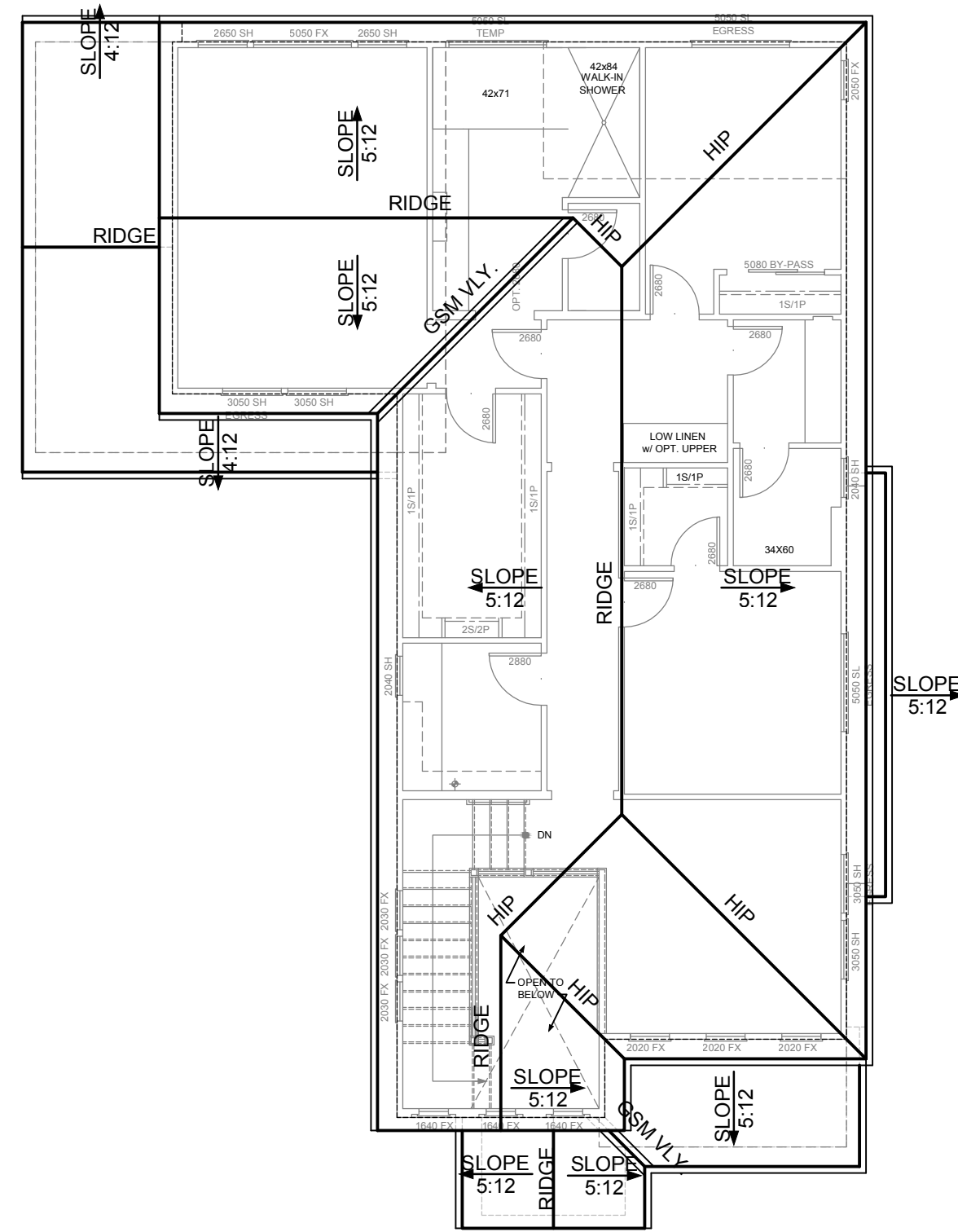
PLAN 3 SECOND FLOOR PLAN, ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"



PLAN 3 FIRST FLOOR PLAN, ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

PLAN 3	
TOTAL LIVING AREA:	2408 sq. ft.
First Floor	1140 sq. ft.
Second Floor	1268 sq. ft.
2 Car Garage	441 sq. ft.
Entry Porch (Elevation A)	64 sq. ft.
Unconditioned Covered Patio	108 sq. ft.
Opt. Unconditioned Covered Patio Extension	96 sq. ft.
4 BR, 3 BA with Loft Master Closet Pole: 27'-8"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	



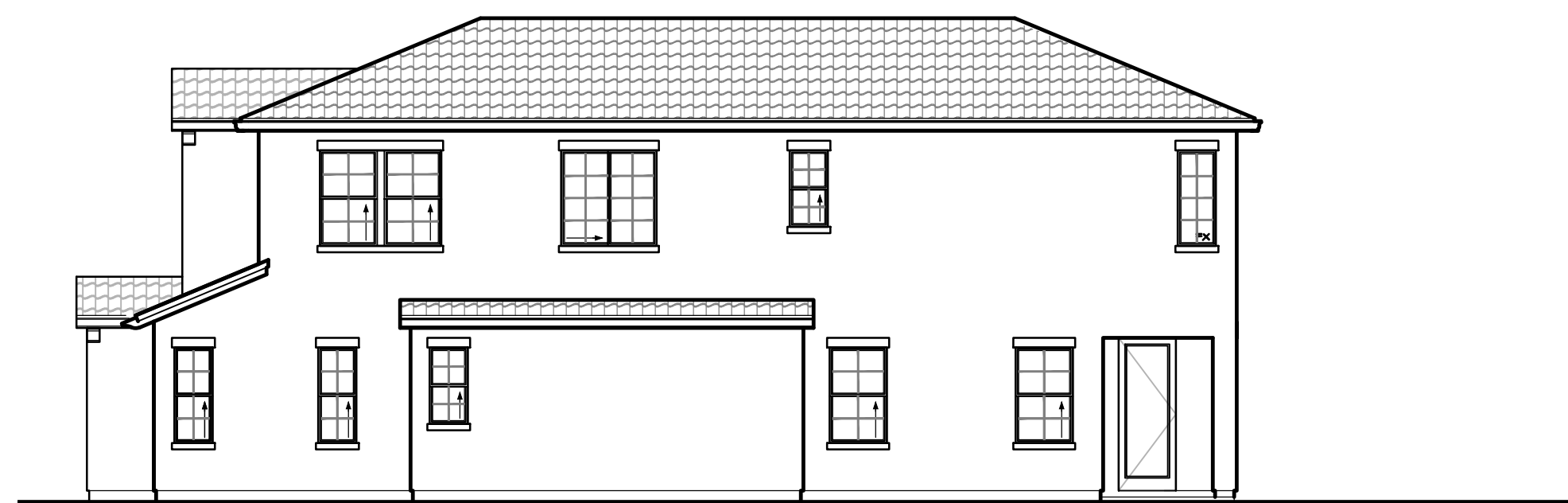


PLAN 3 ROOF PLAN
ELEVATION B, SPANISH
 SCALE: 1/8" = 1'-0"



PLAN 3 FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

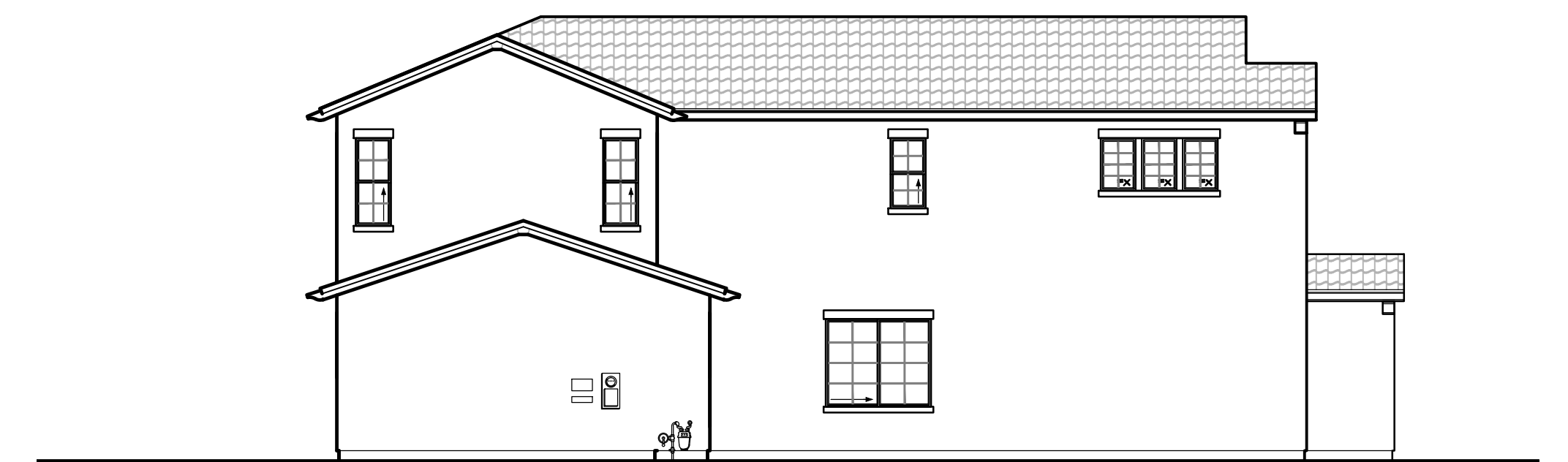
- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



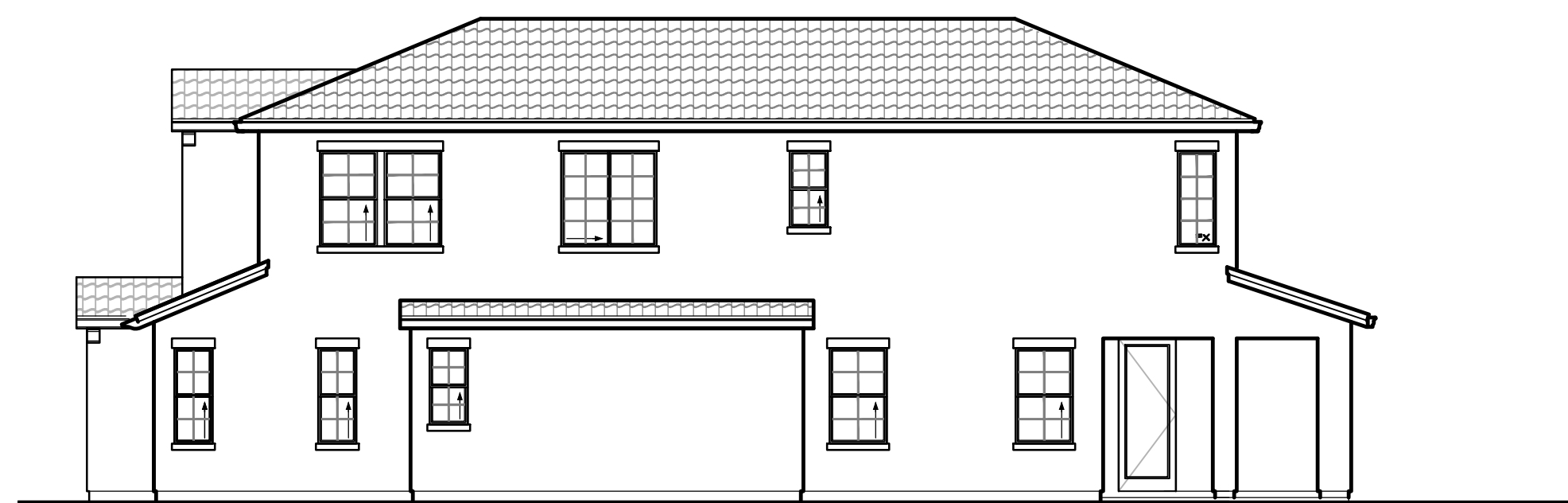
PLAN 3 RIGHT SIDE ELEVATION B, SPANISH



PLAN 3 REAR ELEVATION B, SPANISH



PLAN 3 LEFT SIDE ELEVATION B, SPANISH

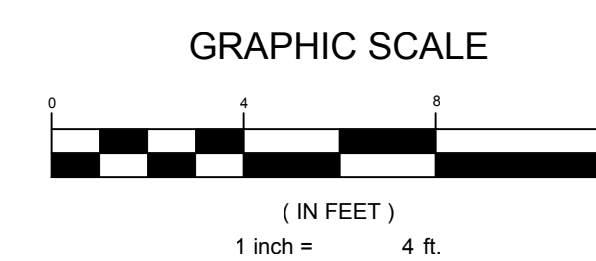


PLAN 3 RIGHT SIDE ELEVATION B OPTIONAL COVERED OUTDOOR LIVING



PLAN 3 REAR ELEVATION B OPTIONAL COVERED OUTDOOR LIVING

LANTANA
 for STANDARD PACIFIC HOMES



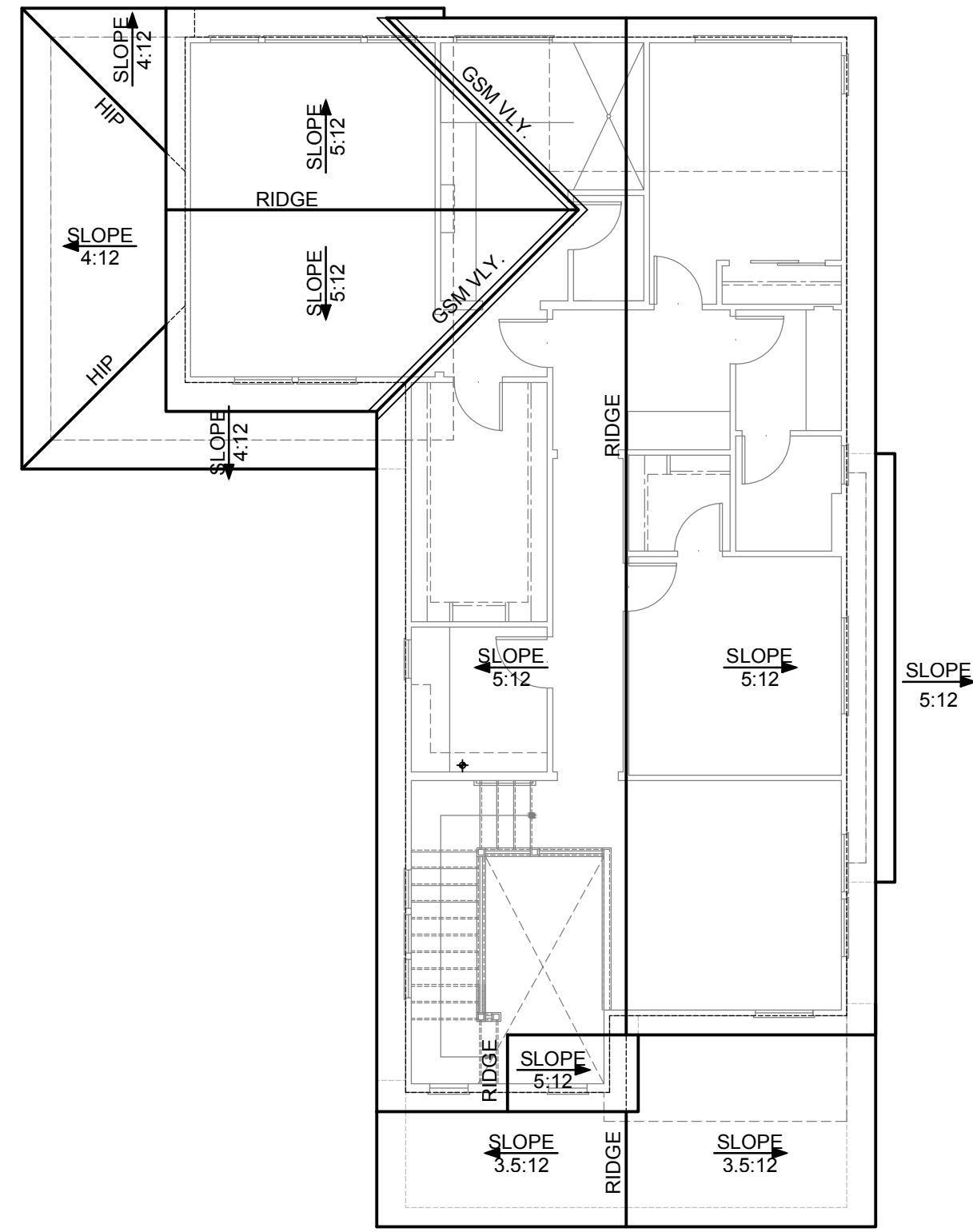
5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 3
Elevation B, Spanish
Elevations & Roof Plan

JOB NO. 360.047

DATE:
 Residential Planned Development Review 08-29-2014

A3.4



PLAN 3 ROOF PLAN
ELEVATION C, CRAFTSMAN
 SCALE: 1/8" = 1'-0"



PLAN 3 FRONT ELEVATION C, CRAFTSMAN
 SCALE: 1/4" = 1'-0"

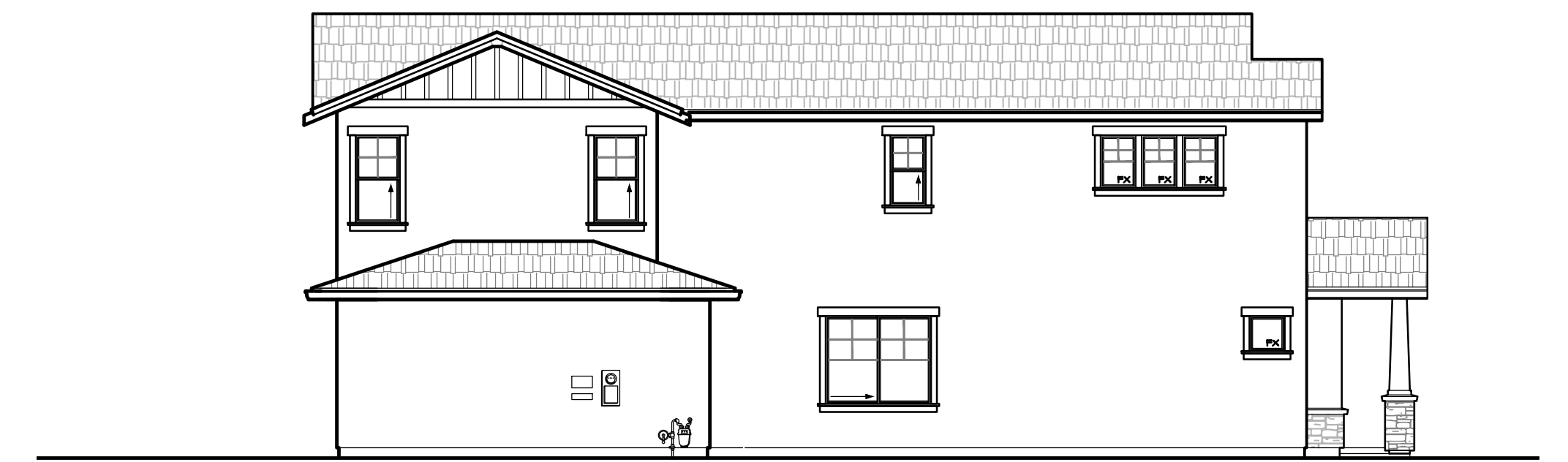
- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 3 RIGHT SIDE ELEVATION C, CRAFTSMAN



PLAN 3 REAR ELEVATION C, CRAFTSMAN



PLAN 3 LEFT SIDE ELEVATION C, CRAFTSMAN

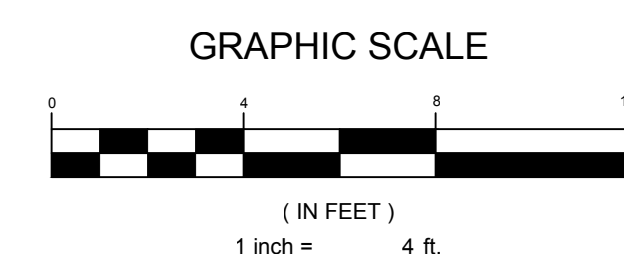


PLAN 3 RIGHT SIDE ELEVATION C OPTIONAL COVERED OUTDOOR LIVING



PLAN 3 REAR ELEVATION C OPTIONAL COVERED OUTDOOR LIVING

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 3
Elevation C, Craftsman
Elevations & Roof Plan

JOB NO. 360.047

DATE:
 Residential Planned Development Review 08-29-2014

A3.5



PLAN 4 FRONT ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

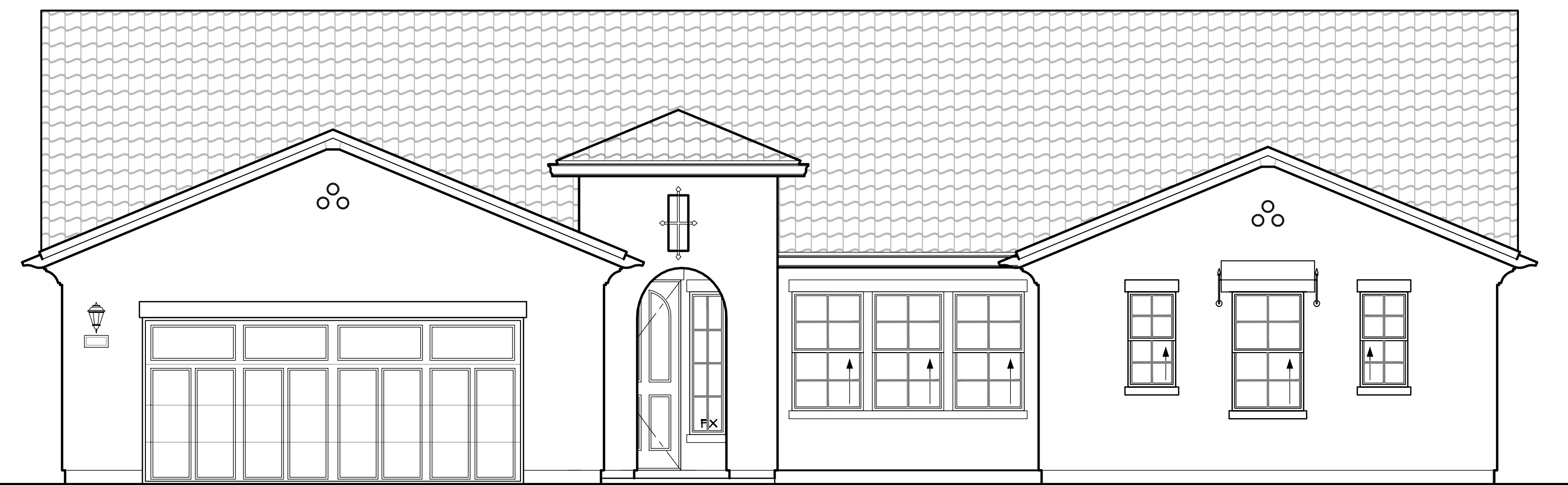
- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE "S" TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



PLAN 4 FRONT ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"



PLAN 4 FRONT ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

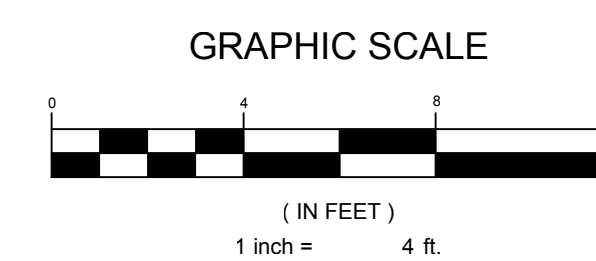
Plan 4 Elevations

JOB NO. 360.047

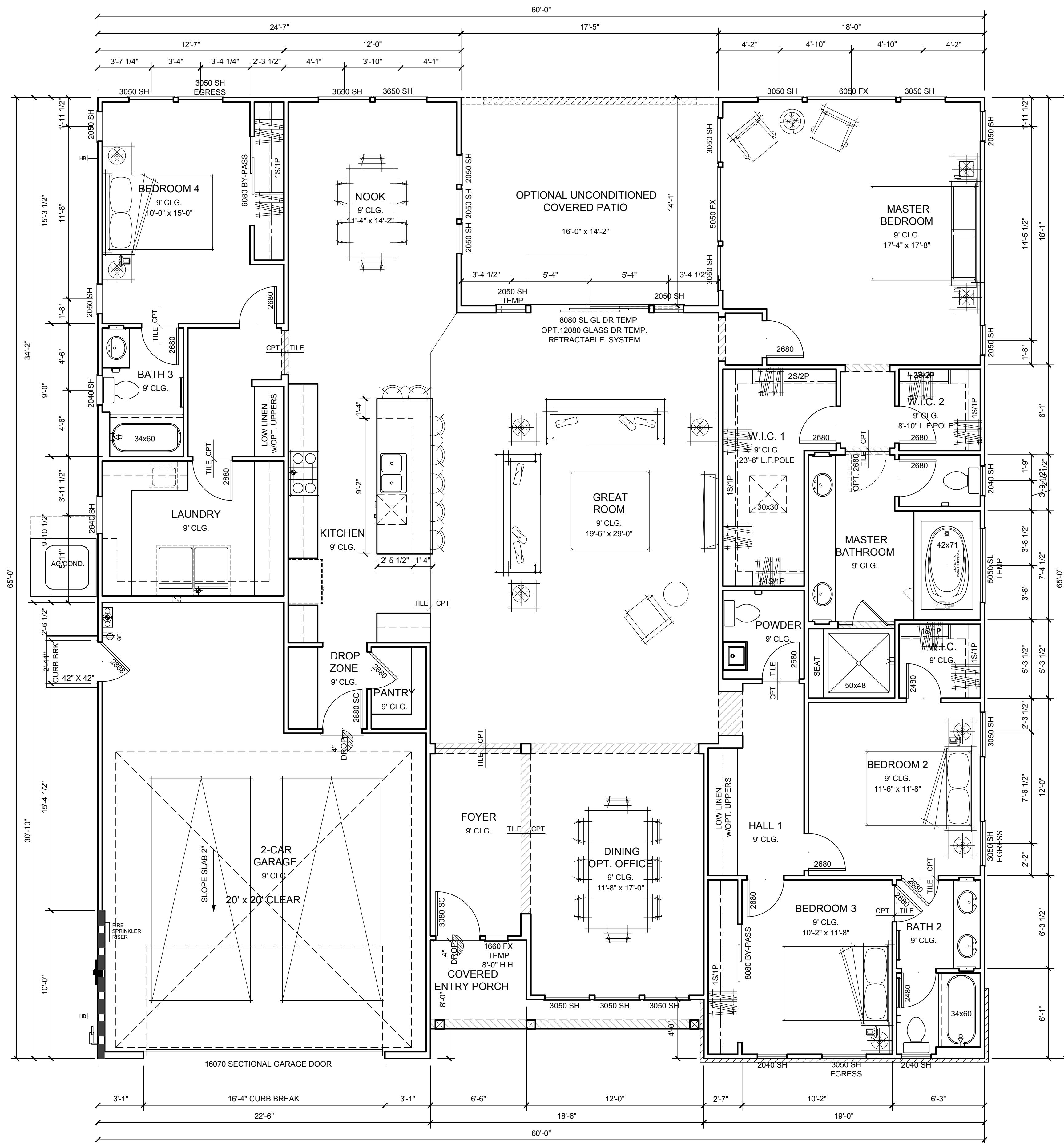
DATE: Residential Planned Development Review 08-29-2014

A4.0

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200



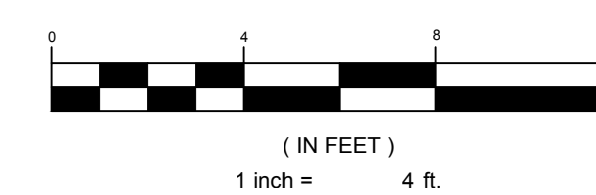
PLAN 4 FIRST FLOOR PLAN, ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"

PLAN 4	
TOTAL LIVING AREA:	2953 sq. ft.
First Floor:	2953 sq. ft.
2 Car Garage	602 sq. ft.
Entry Porch (Elevation A)	63 sq. ft.
Opt. Unconditioned Covered Patio	245 sq. ft.
4 BR. 3.5 BA	
Master Closet Pole: 32'-4"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 4
 Floor Plan**

LANTANA
 for STANDARD PACIFIC HOMES

GRAPHIC SCALE



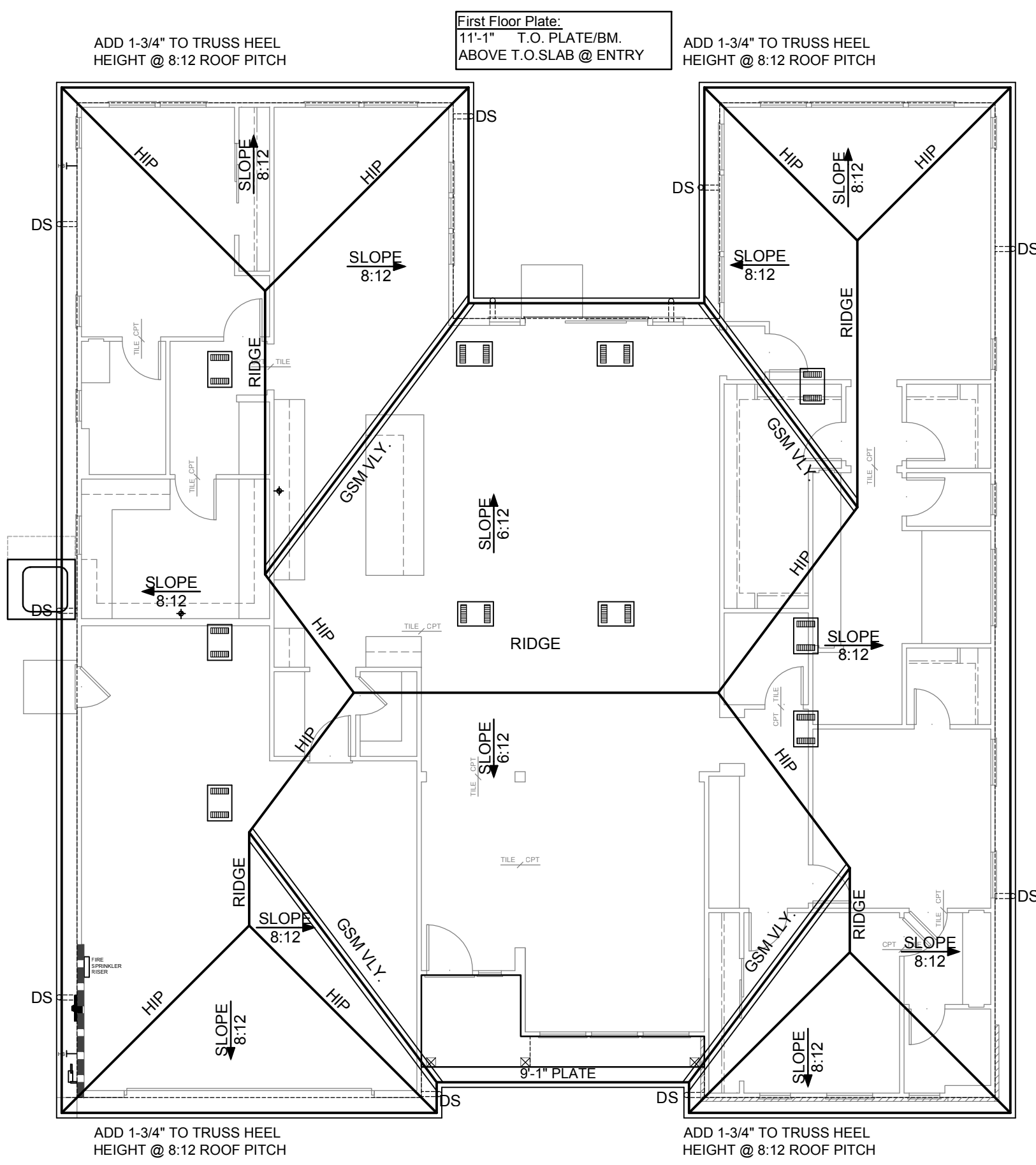
DAHLIN
 group

5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

JOB NO. 360.047

DATE:
 Residential Planned Development Review 08-29-2014

A4.1



**PLAN 4 ROOF PLAN
ELEVATION A, FRENCH**
SCALE: 1/8" = 1'-0"



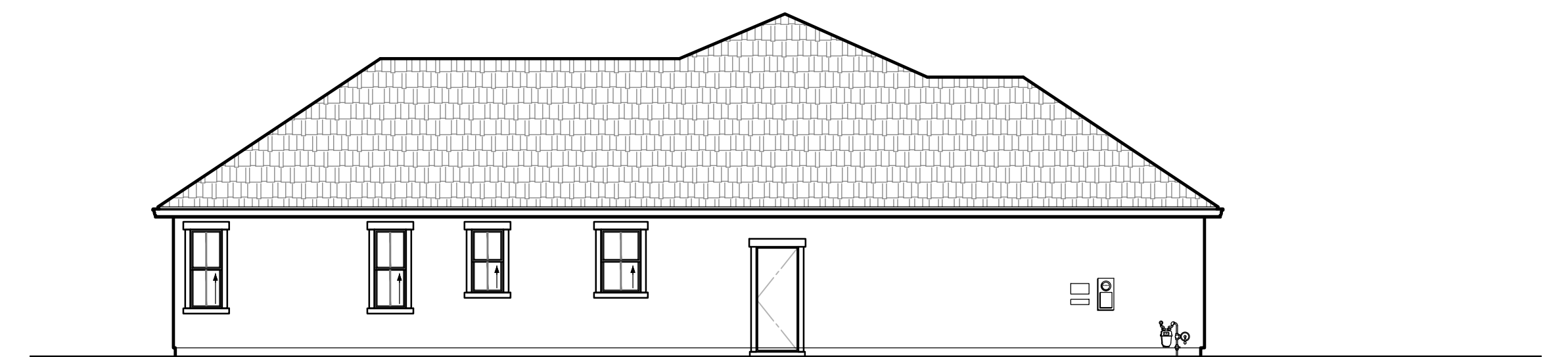
PLAN 4 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



PLAN 4 RIGHT SIDE ELEVATION A, FRENCH



PLAN 4 REAR ELEVATION A, FRENCH



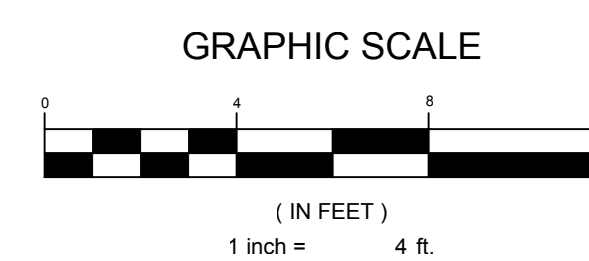
PLAN 4 LEFT SIDE ELEVATION A, FRENCH



PLAN 4 REAR ELEVATION A OPTIONAL COVERED OUTDOOR LIVING

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHelf - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

LANTANA
for STANDARD PACIFIC HOMES



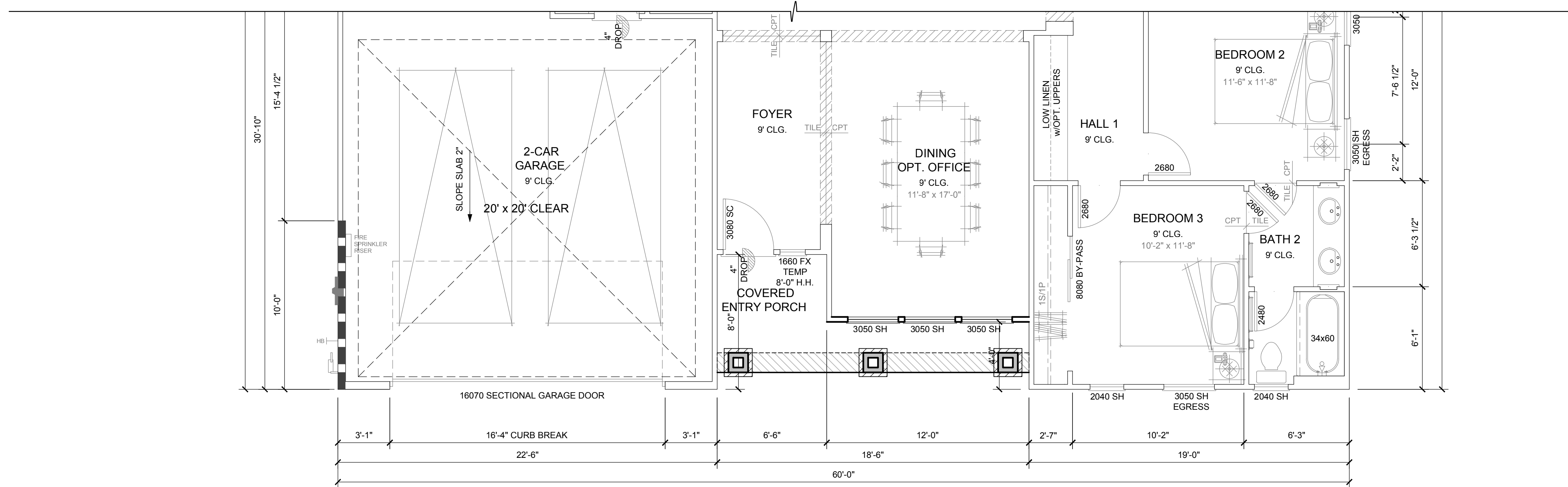
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 4
Elevation A, French
Elevations & Roof Plan**

JOB NO. 360.047

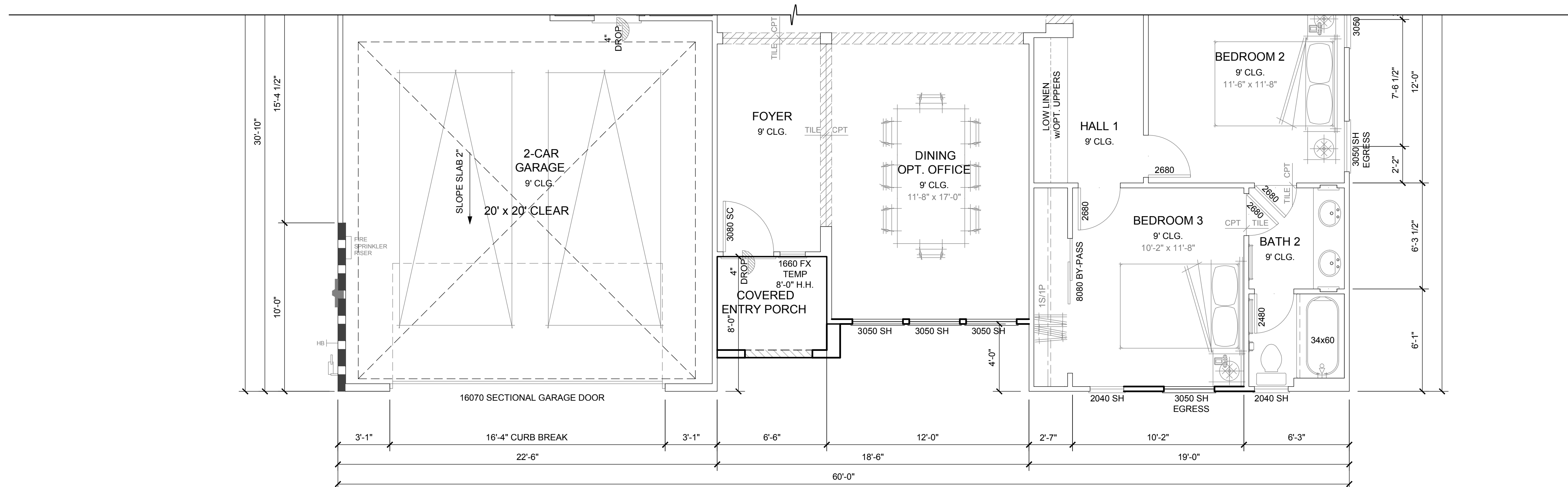
DATE:
Residential Planned Development Review 08-29-2014

A4.2



PLAN 4 FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN

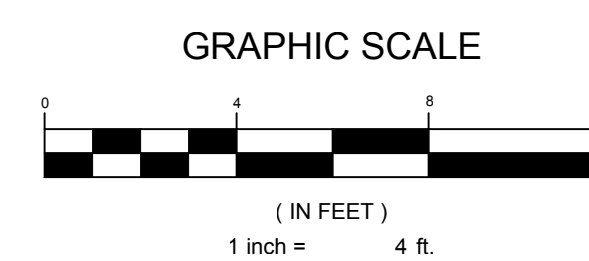
SCALE: 1/4" = 1'-0"



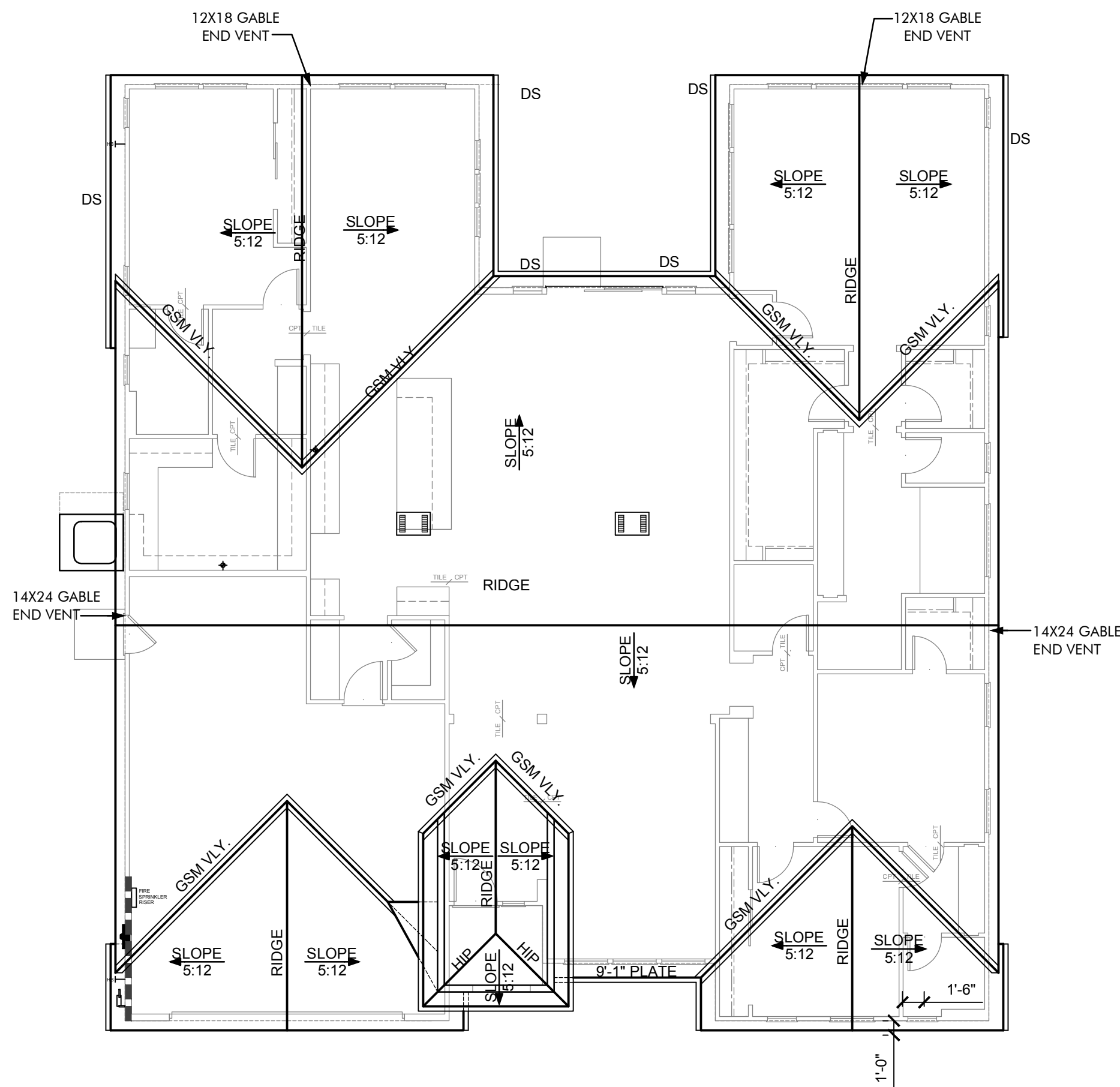
PLAN 4 FIRST FLOOR PLAN, ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

PLAN 4	
TOTAL LIVING AREA:	2953 sq. ft.
First Floor:	2953 sq. ft.
2 Car Garage	602 sq. ft.
Entry Porch (Elevation A)	63 sq. ft.
Opt. Unconditioned Covered Patio	245 sq. ft.
4 BR. 3.5 BA. Master Closet Pole: 32'-4"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	



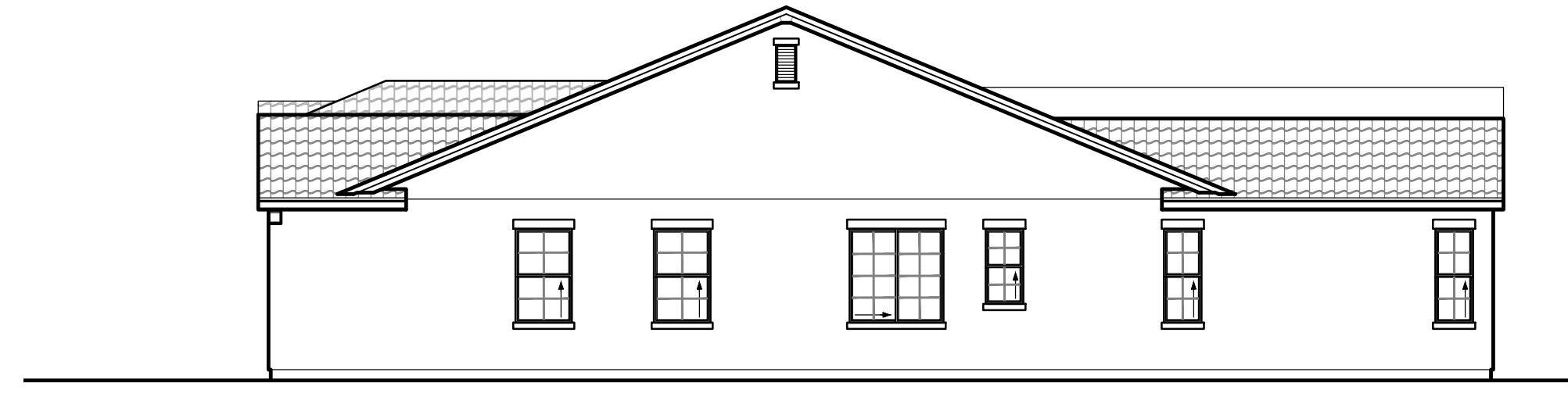
- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



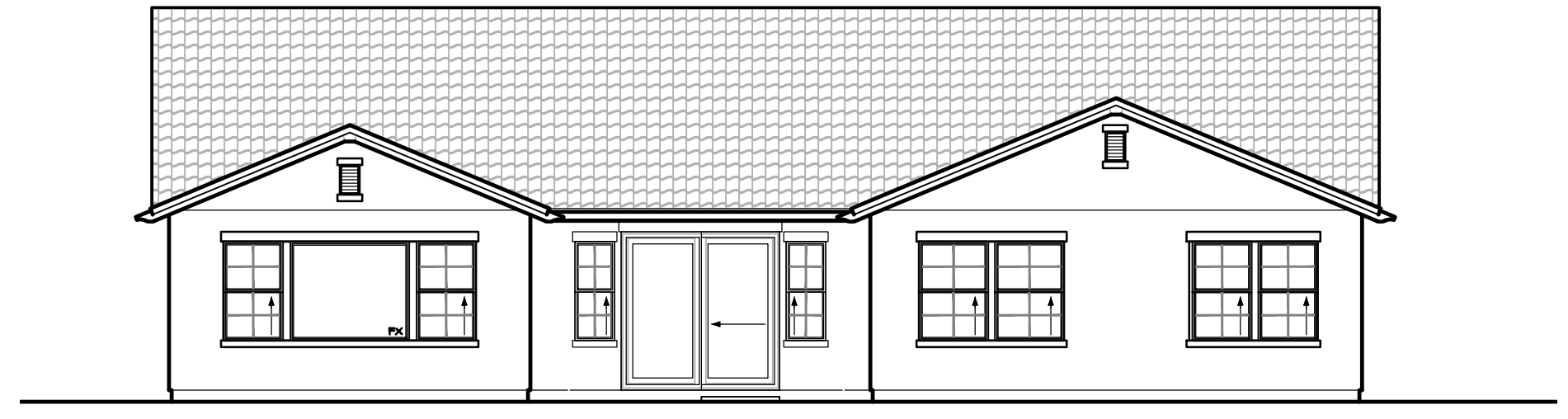
PLAN 4 ROOF PLAN
ELEVATION B, SPANISH
 SCALE: 1/8" = 1'-0"



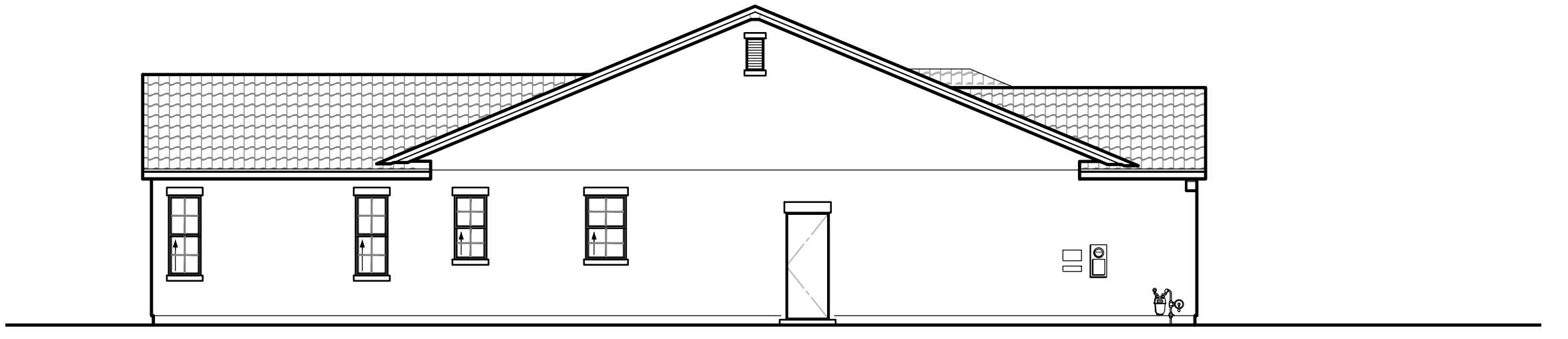
PLAN 4 FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"



PLAN 4 RIGHT SIDE ELEVATION B, SPANISH



PLAN 4 REAR ELEVATION B, SPANISH

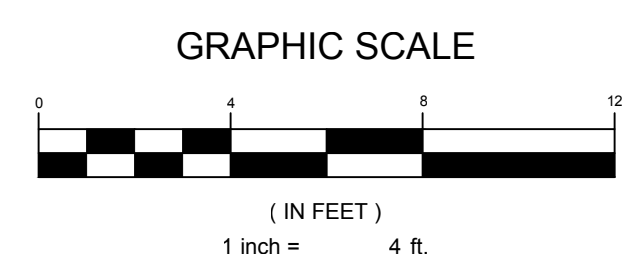


PLAN 4 LEFT SIDE ELEVATION B, SPANISH



PLAN 4 REAR ELEVATION B OPTIONAL COVERED OUTDOOR LIVING

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

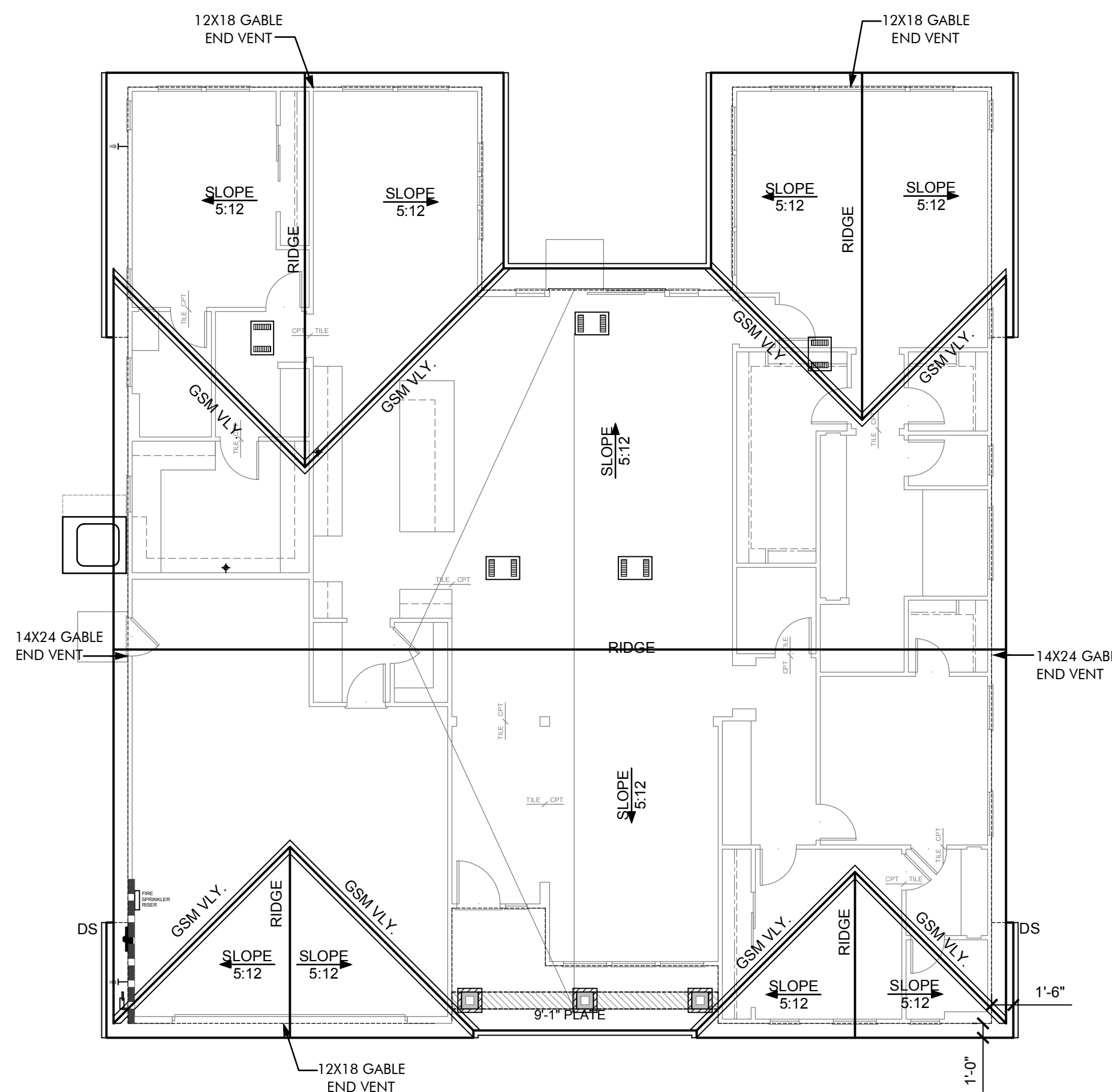
Plan 4
Elevation B, Spanish
Elevations & Roof Plan

JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A4.4

J:\360\047_Lantana\Arch\Plot\SD\360047_A404_Span.dwg, 8/28/2014 9:24:24 AM, kmiles

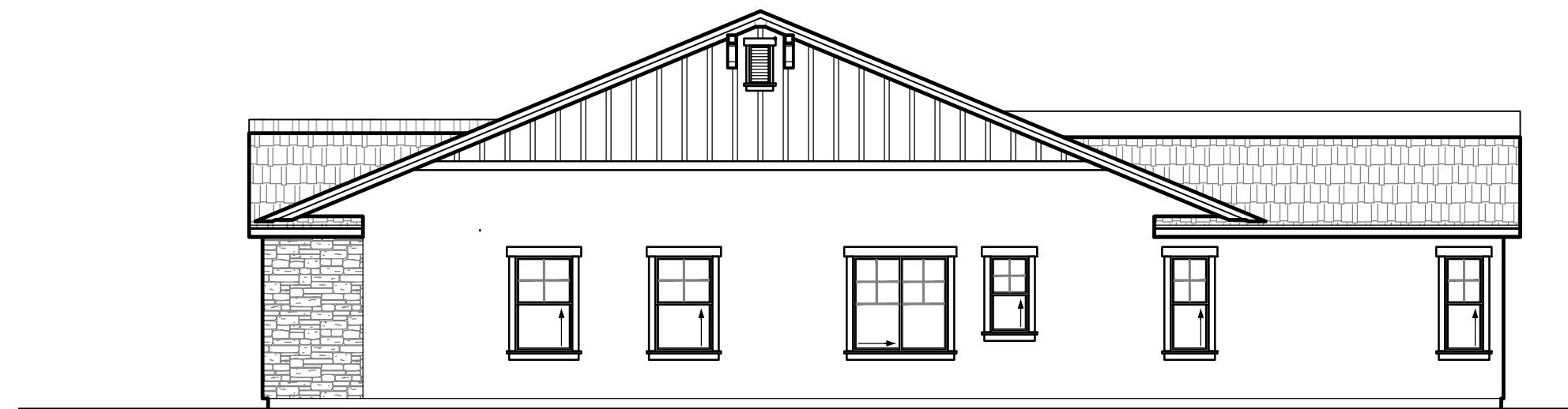


PLAN 4 ROOF PLAN
ELEVATION C, CRAFTSMAN
 SCALE: 1/8" = 1'-0"



PLAN 4 FRONT ELEVATION C, CRAFTSMAN
 SCALE: 1/4" = 1'-0"

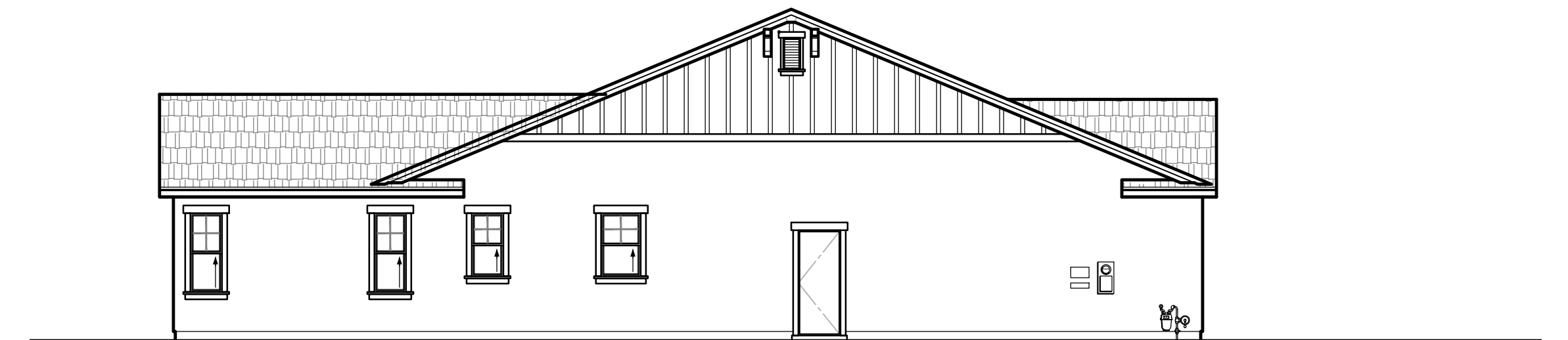
- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C. OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



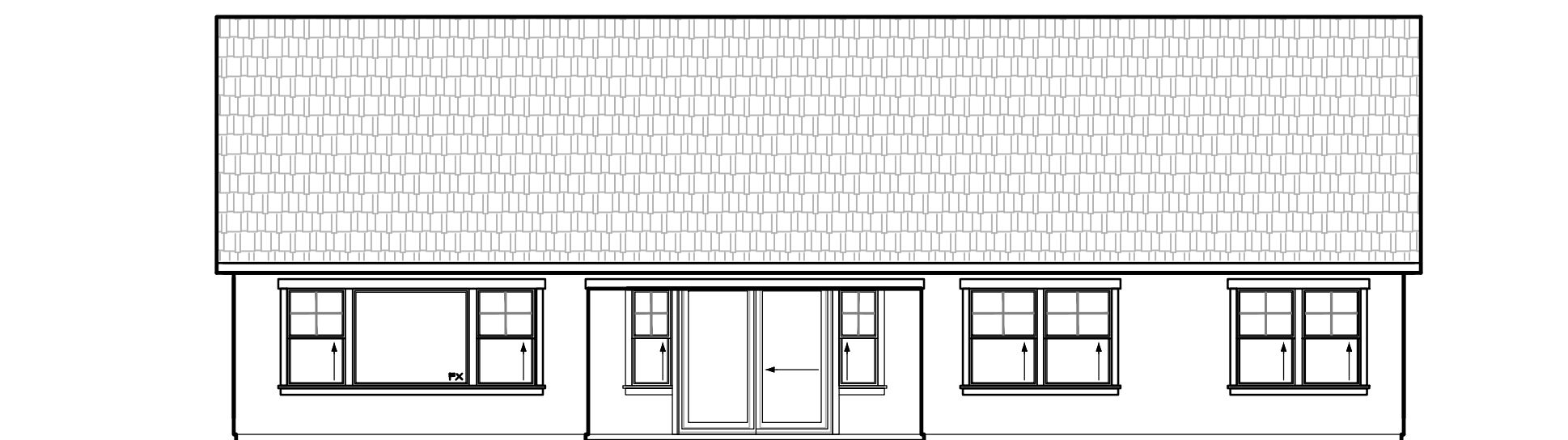
PLAN 4 RIGHT SIDE ELEVATION C, CRAFTSMAN



PLAN 4 REAR ELEVATION C, CRAFTSMAN

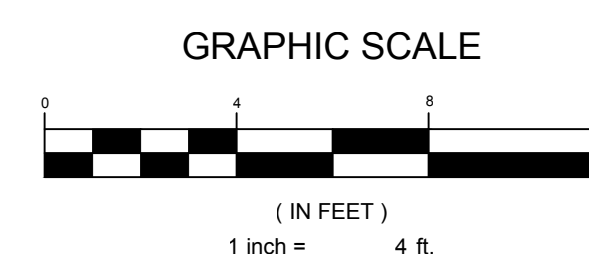


PLAN 4 LEFT SIDE ELEVATION C, CRAFTSMAN



PLAN 4 REAR ELEVATION C OPTIONAL COVERED OUTDOOR LIVING

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 4
Elevation C, Craftsman
Elevations & Roof Plan

JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A4.5

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



PLAN 5 FRONT ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 5 FRONT ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



PLAN 5 FRONT ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

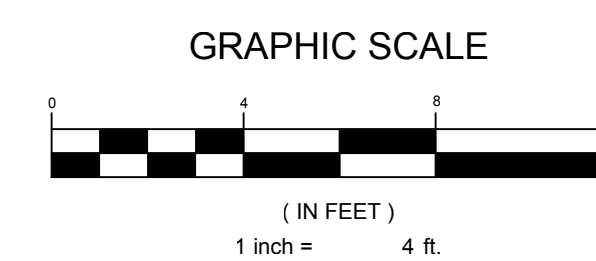
Plan 5 Elevations

JOB NO. 360.047

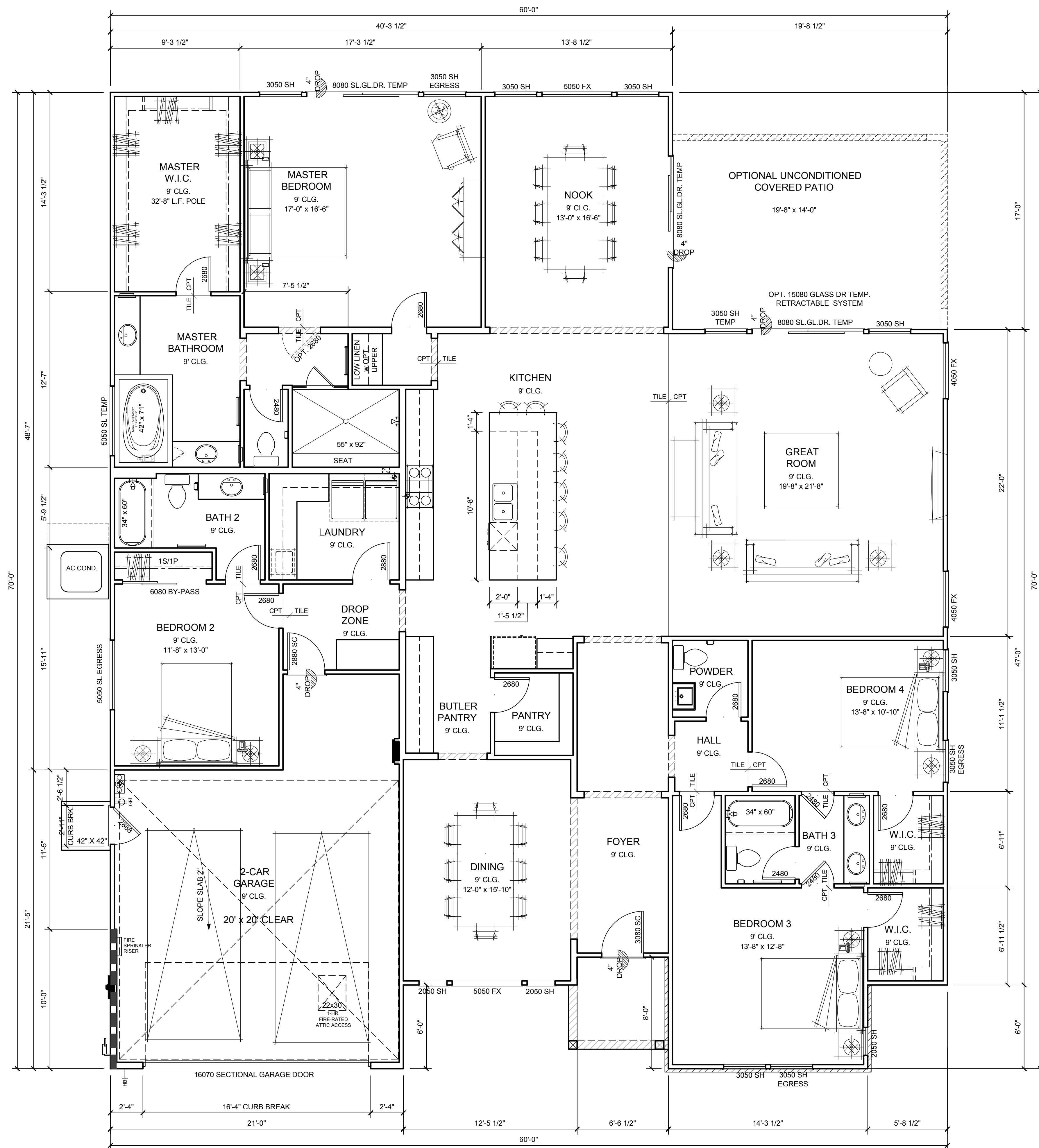
DATE: Residential Planned Development Review 08-29-2014

A5.0

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200



PLAN 5	
TOTAL LIVING AREA:	3208 sq. ft.
First Floor	3208 sq. ft.
2 Car Garage	496 sq. ft.
Front Porch (Elevation A)	46 sq. ft.
Opt. Unconditioned Covered Patio	276 sq. ft.
4 BR, 3.5 BA	
Master Closet Pole: 32'-8"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

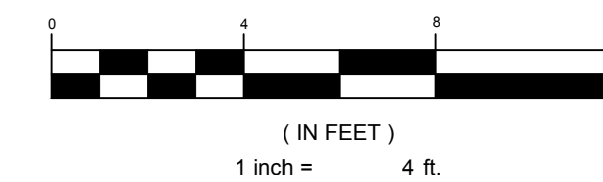
**Plan 5
Floor Plan**

LANTANA
for STANDARD PACIFIC HOMES

PLAN 5 FIRST FLOOR PLAN, ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

GRAPHIC SCALE



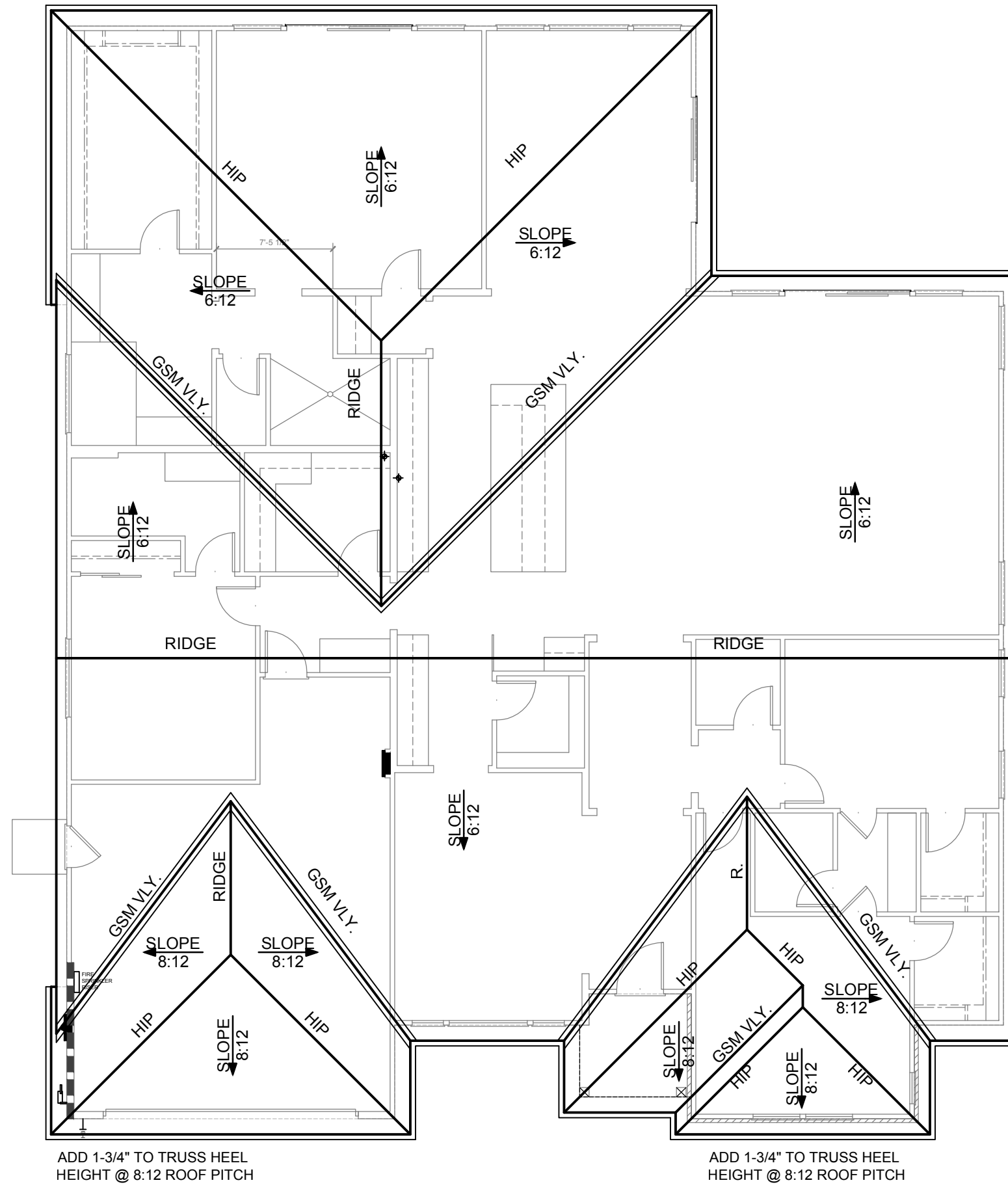
DAHLIN
group

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A5.1



PLAN 5 ROOF PLAN
ELEVATION A, FRENCH

SCALE: 1/8" = 1'-0"



PLAN 5 FRONT ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

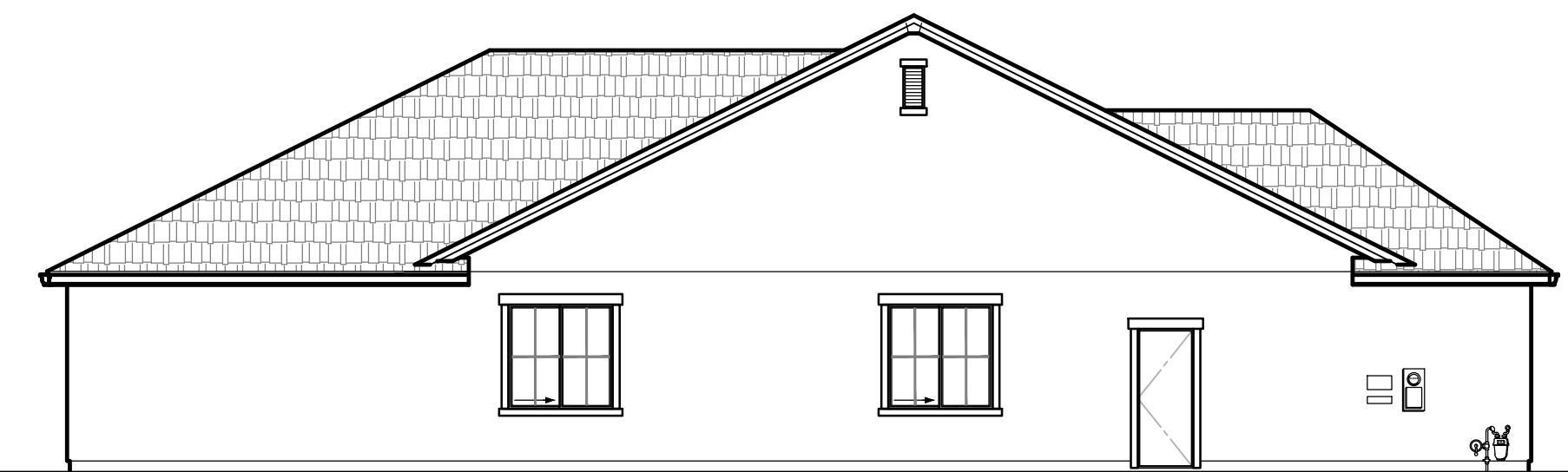
- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8' EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



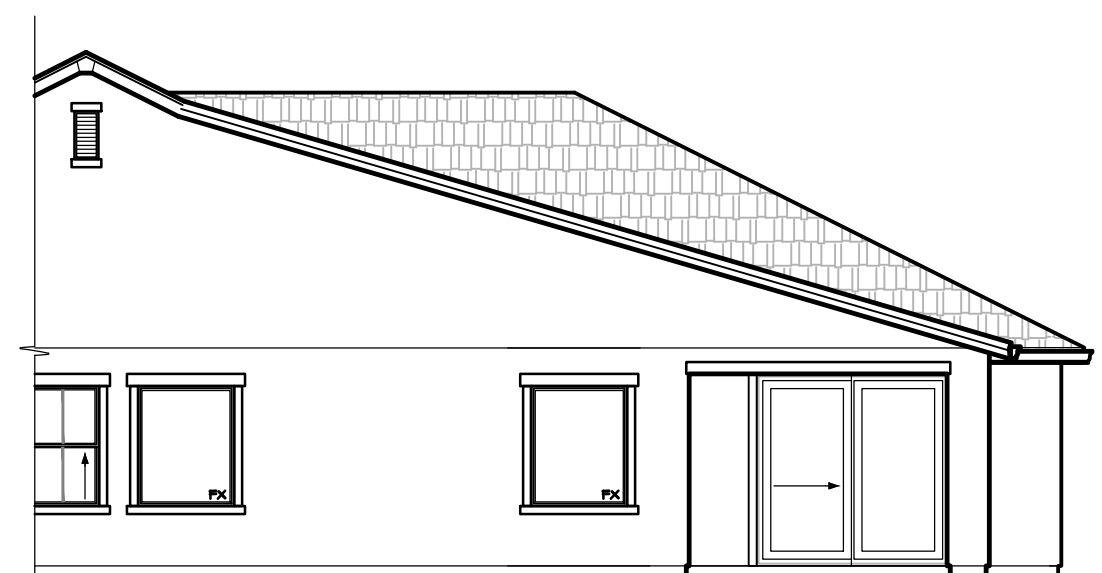
PLAN 5 RIGHT SIDE ELEVATION A, FRENCH



PLAN 5 REAR ELEVATION A, FRENCH



PLAN 5 LEFT SIDE ELEVATION A, FRENCH

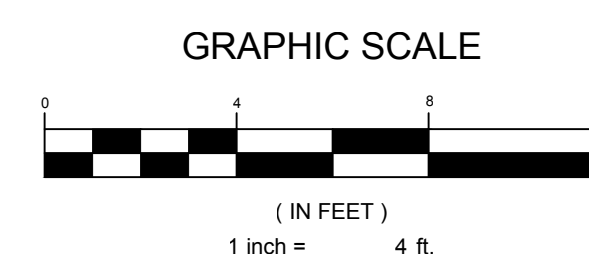


PLAN 5 RIGHT ELEV. A, FRENCH
OPTIONAL COVERED OUTDOOR LIVING



PLAN 5 REAR ELEVATION A, FRENCH
OPTIONAL COVERED OUTDOOR LIVING

LANTANA
for STANDARD PACIFIC HOMES



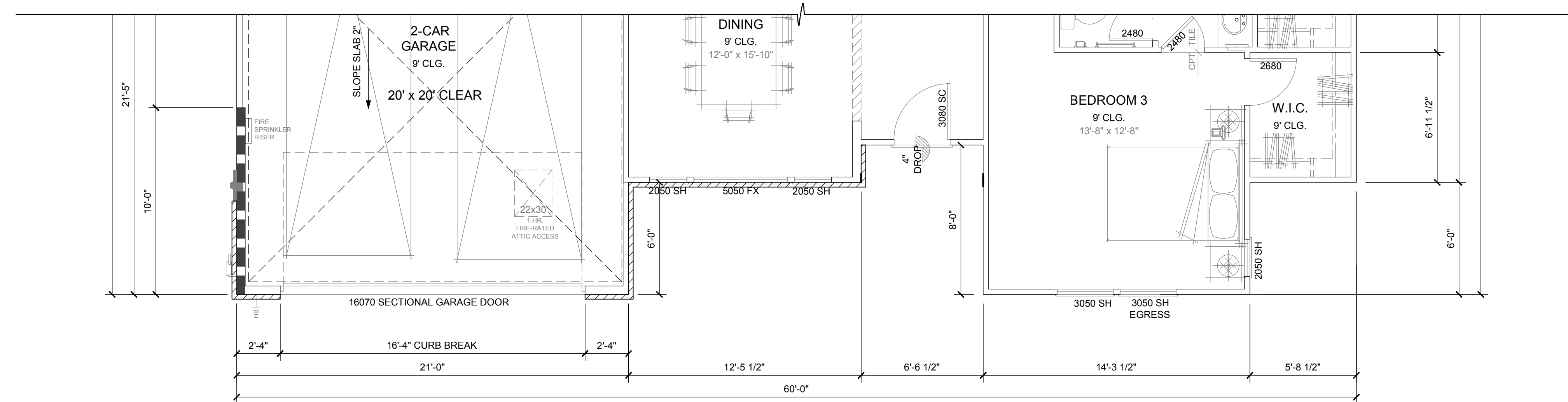
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

Plan 5
Elevation A, French
Elevations & Roof Plan

JOB NO. 360.047

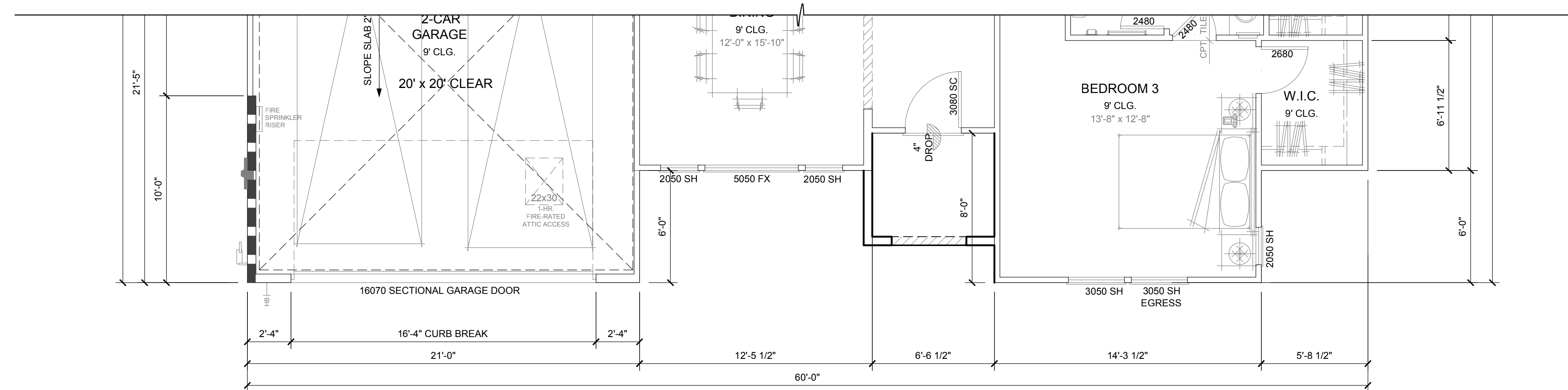
DATE: Residential Planned Development Review 08-29-2014

A5.2



PLAN 5 FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"

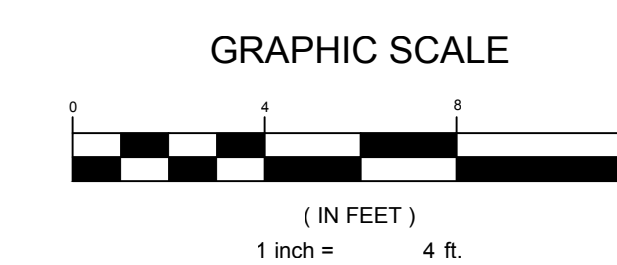


PLAN 5 FIRST FLOOR PLAN, ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

PLAN 5	
TOTAL LIVING AREA:	3208 sq. ft.
First Floor	3208 sq. ft.
2 Car Garage	496 sq. ft.
Front Porch (Elevation A)	46 sq. ft.
Opt. Unconditioned Covered Patio	276 sq. ft.
4 BR, 3.5 BA	
Master Closet Pole: 32'-8"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

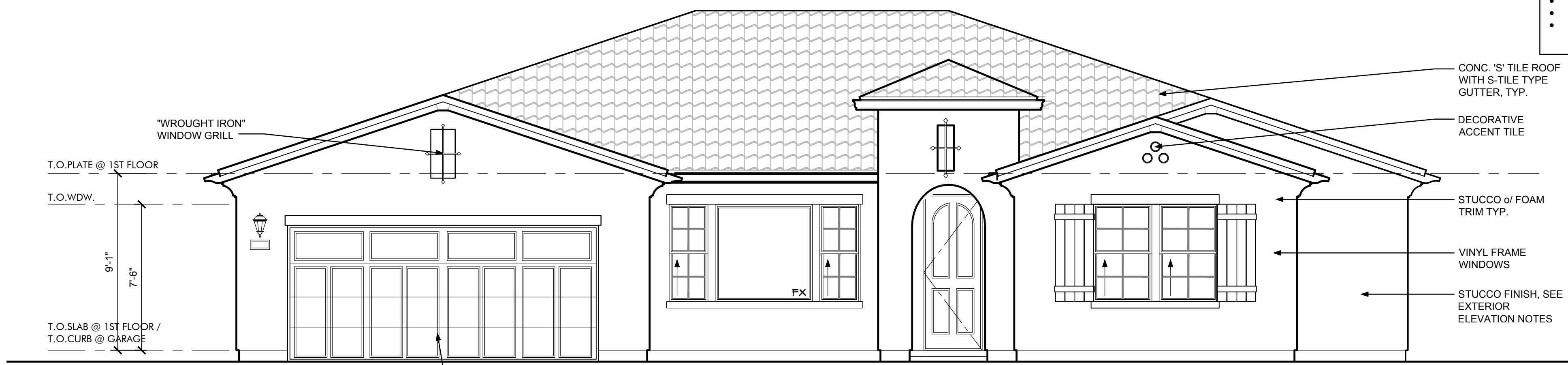
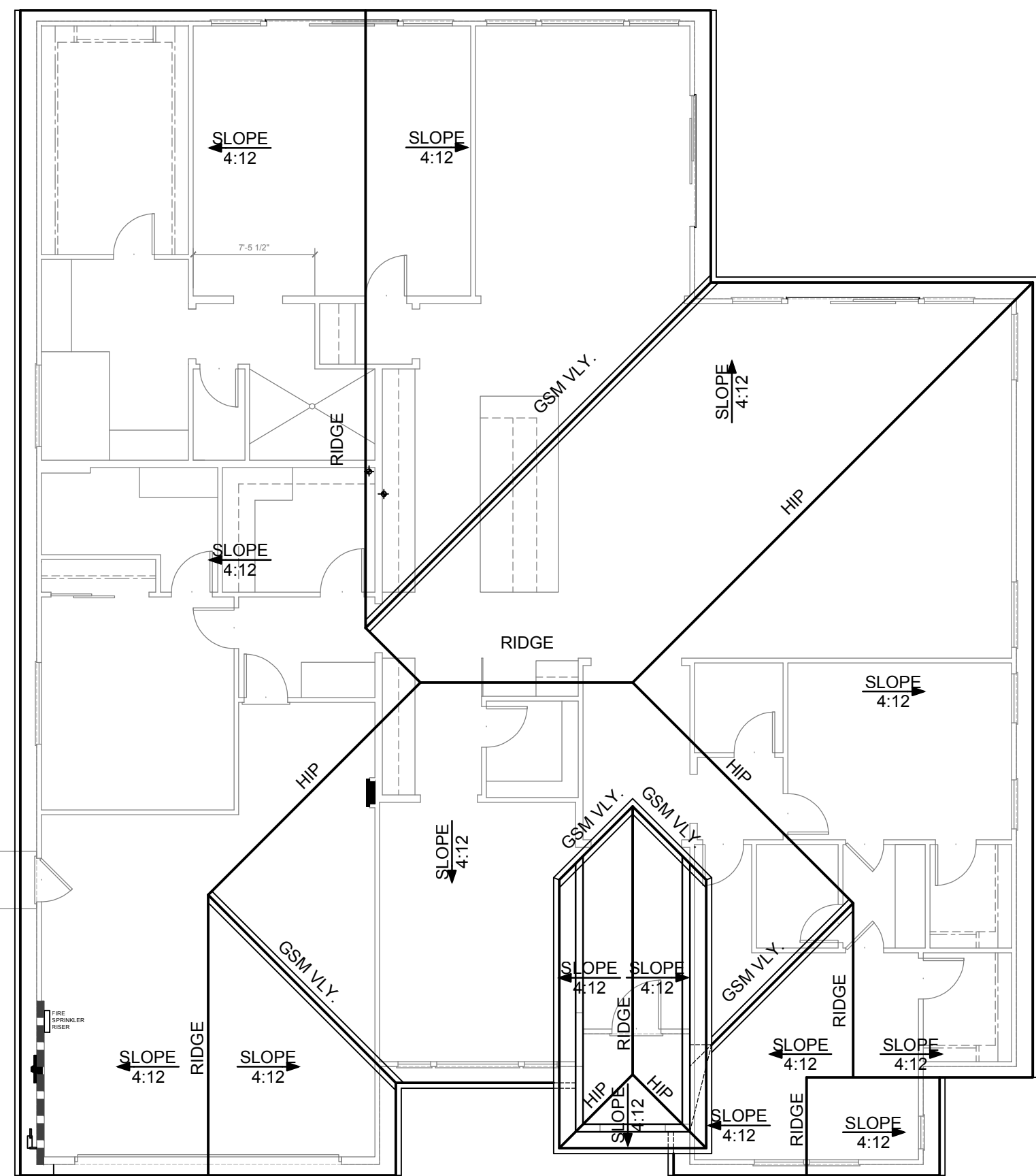
**Plan 5
Partial
Floor Plans**

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

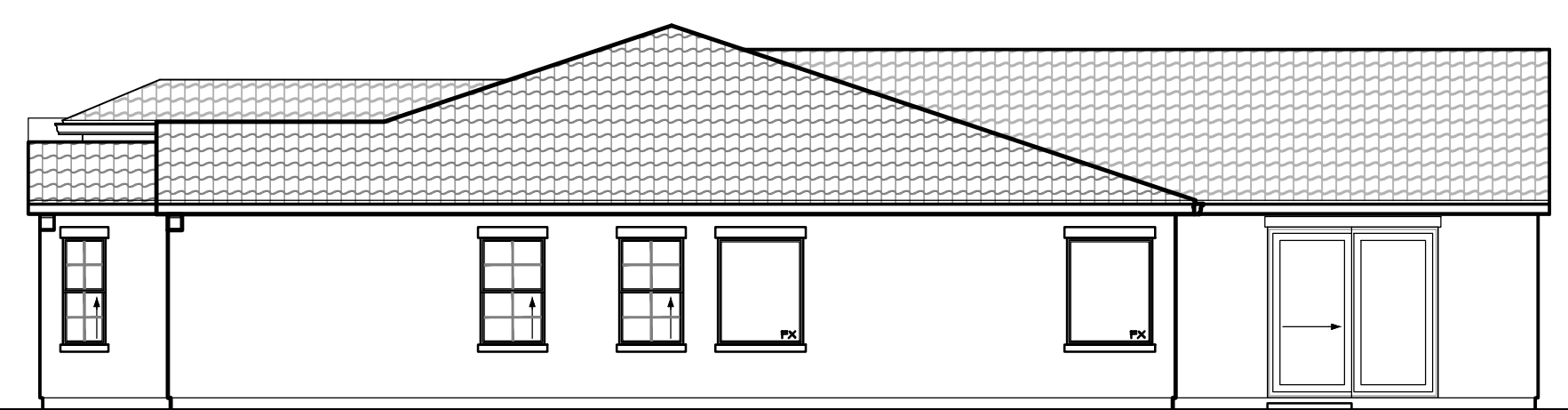
A5.3

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

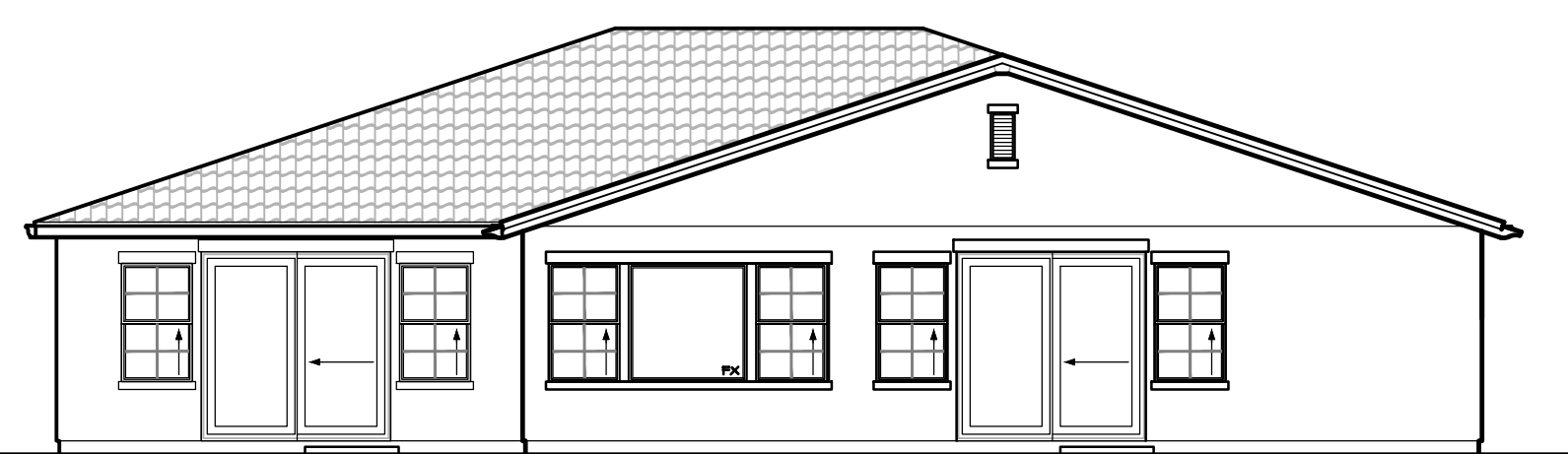


PLAN 5 FRONT ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

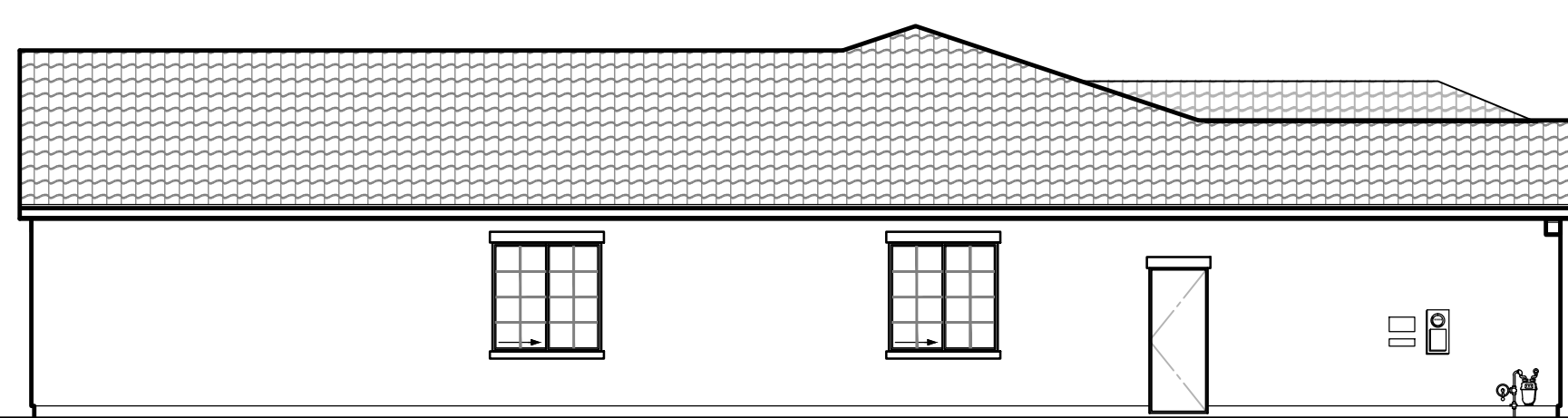
PLAN 5 ROOF PLAN
ELEVATION B, SPANISH
SCALE: 1/8" = 1'-0"



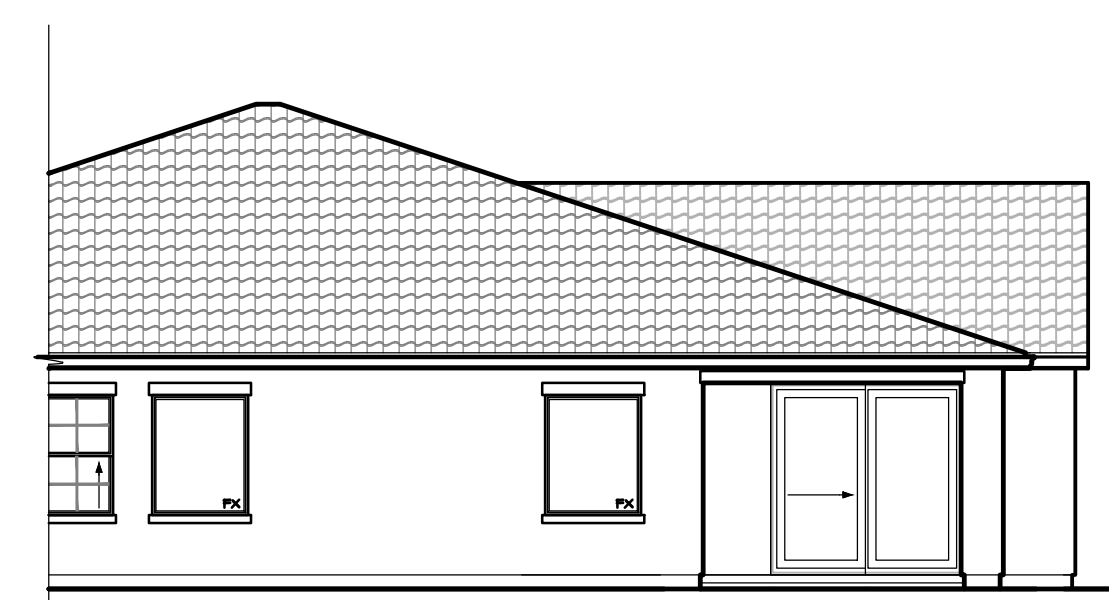
PLAN 5 RIGHT SIDE ELEVATION B, SPANISH



PLAN 5 REAR ELEVATION B, SPANISH



PLAN 5 LEFT SIDE ELEVATION B, SPANISH



PLAN 5 RIGHT ELEV. B, SPANISH
ELEV. B, SPANISH



PLAN 5 REAR ELEVATION B, SPANISH
OPTIONAL COVERED OUTDOOR LIVING

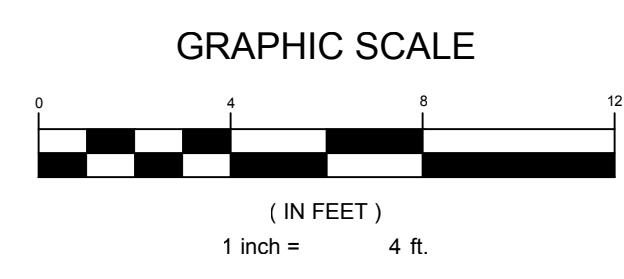
Plan 5
Elevation B, Spanish
Elevations & Roof Plan

JOB NO. 360.047

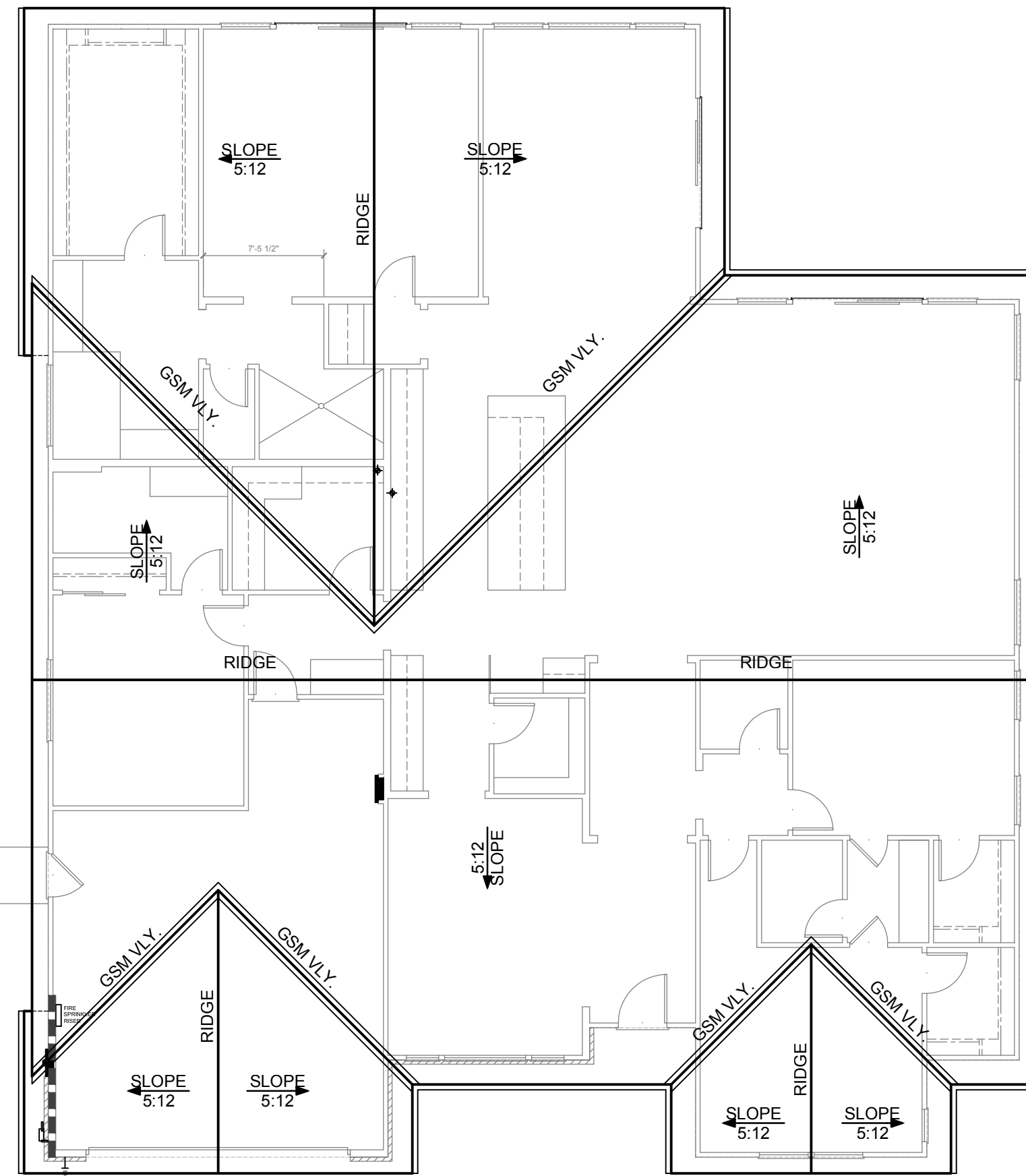
DATE: Residential Planned Development Review 08-29-2014

A5.4

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200



PLAN 5 ROOF PLAN
ELEVATION C, CRAFTSMAN

SCALE: 1/8" = 1'-0"



PLAN 5 FRONT ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"

C - CRAFTSMAN

ROOF MATERIAL:

- COMPOSITION SHINGLE ROOFING

EXTERIOR FINISHES:

- STUCCO FINISH
- MANUFACTURED STONE VENEER

WINDOWS & DOORS:

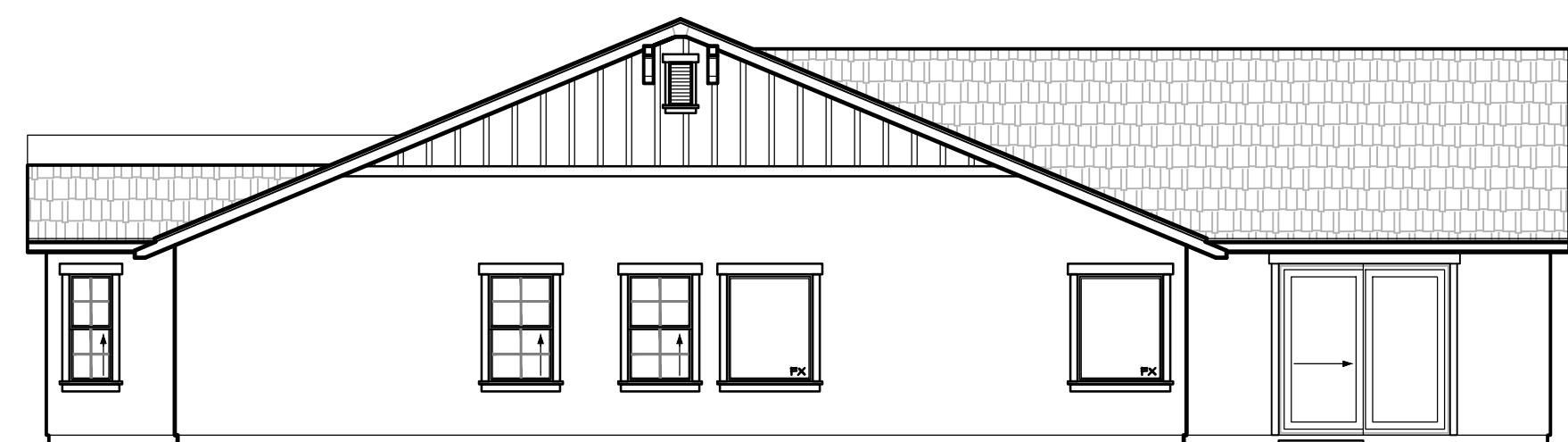
- SIMULATED WOOD FRONT DOORS
- VINYL FRAME WINDOWS
- FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
- SMOOTH TEXTURE SHUTTERS
- ALUMINUM SECTIONAL GARAGE DOORS

TRIM/ACCENT:

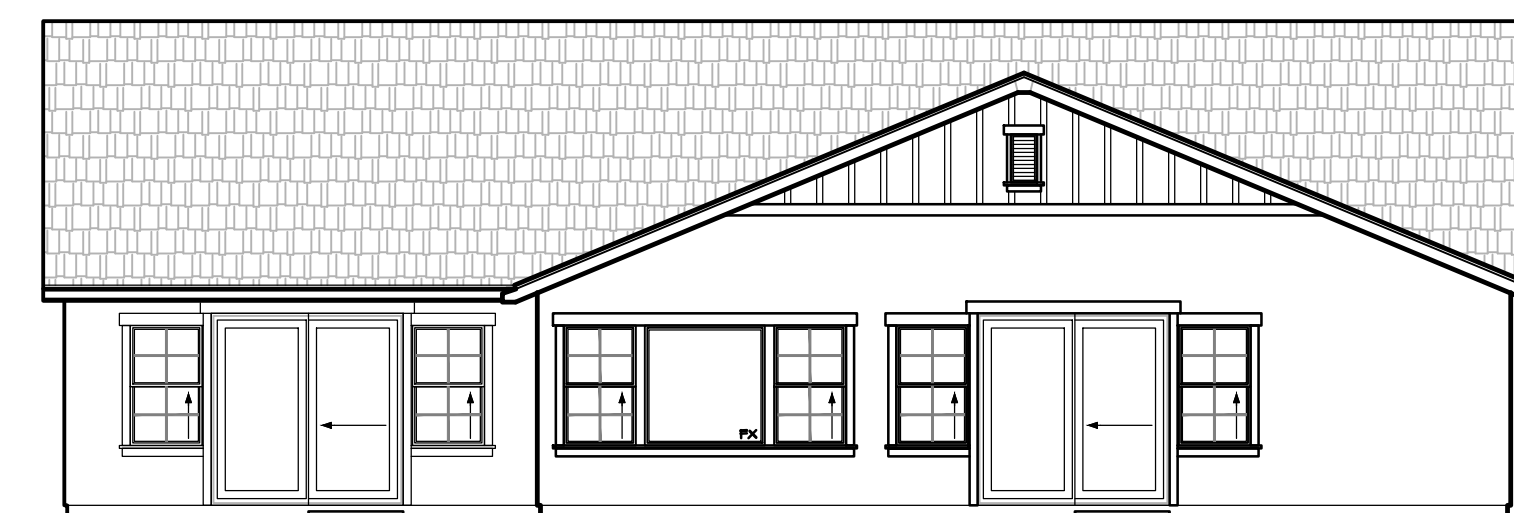
- 1x3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
- LOUVERED, GSM GABLE END VENT
- POTSHLF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE

PORCH:

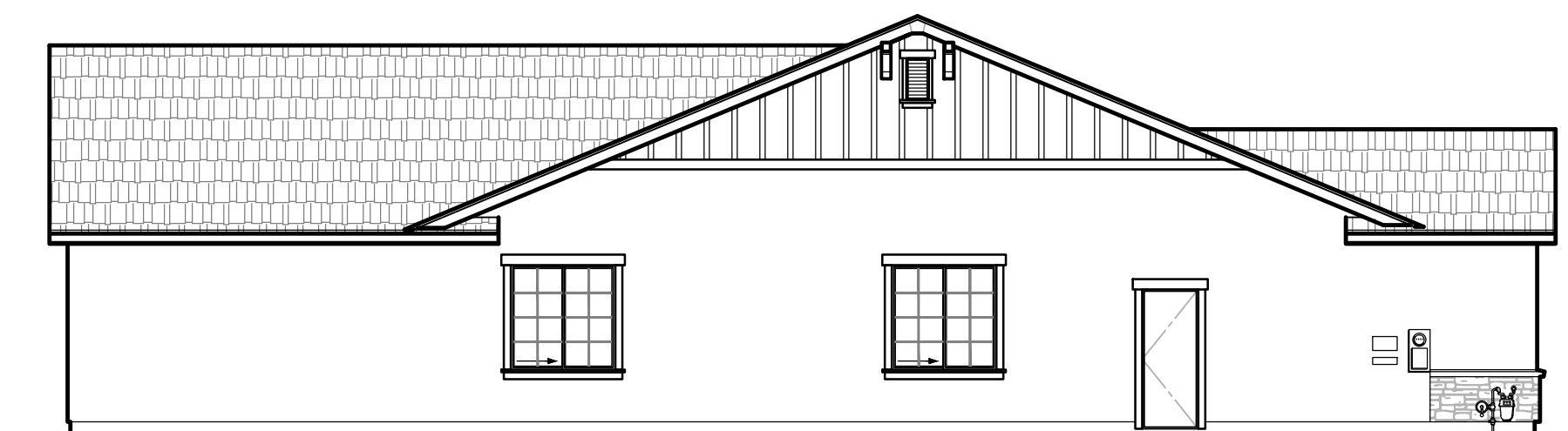
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



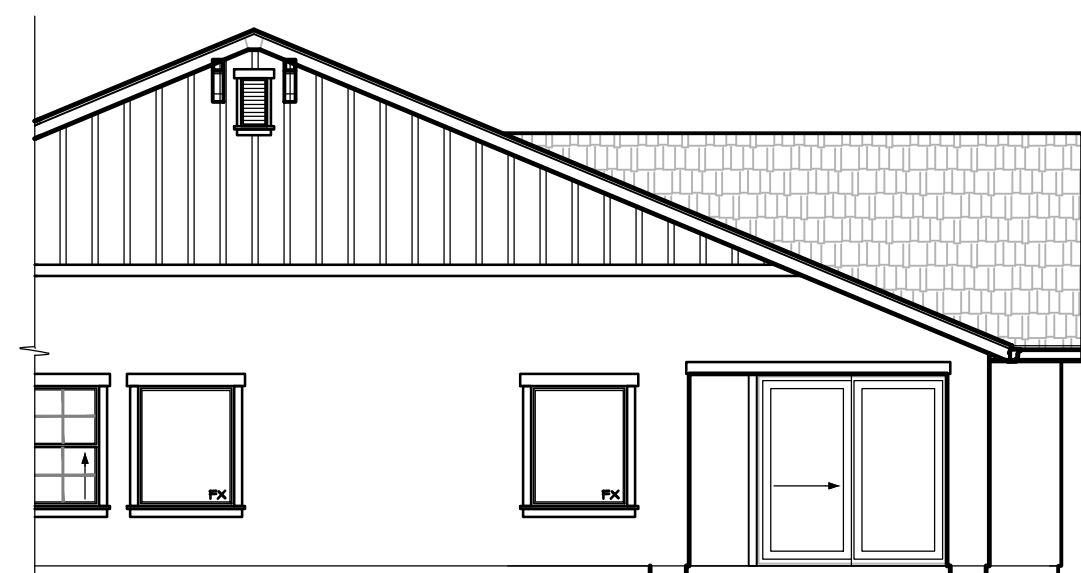
PLAN 5 RIGHT SIDE ELEVATION C, CRAFTSMAN



PLAN 5 REAR ELEVATION C, CRAFTSMAN



PLAN 5 LEFT SIDE ELEVATION C, CRAFTSMAN



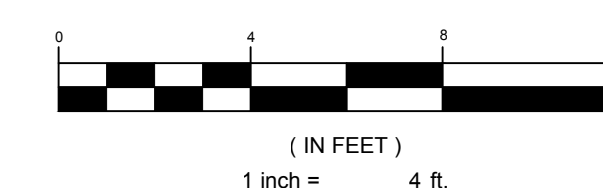
PLAN 5 RIGHT ELEV. C, CRAFTSMAN



PLAN 5 REAR ELEVATION C, CRAFTSMAN
OPTIONAL COVERED OUTDOOR LIVING

LANTANA
for STANDARD PACIFIC HOMES

GRAPHIC SCALE



DAHLIN
group

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

Plan 5
Elevation C, Craftsman
Elevations & Roof Plan

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A5.5

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 6 FRONT ELEVATION A, FRENCH

SCALE: 1/4" = 1'-0"

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8' EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



PLAN 6 FRONT ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"



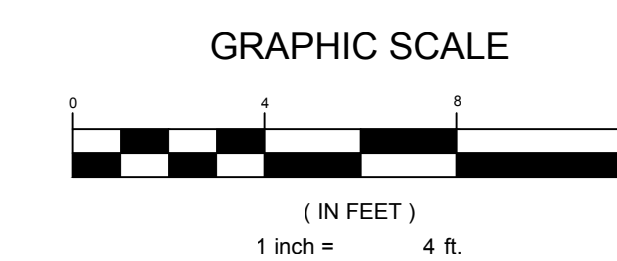
PLAN 6 FRONT ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE "S" TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

Plan 6 Elevations

LANTANA
for STANDARD PACIFIC HOMES

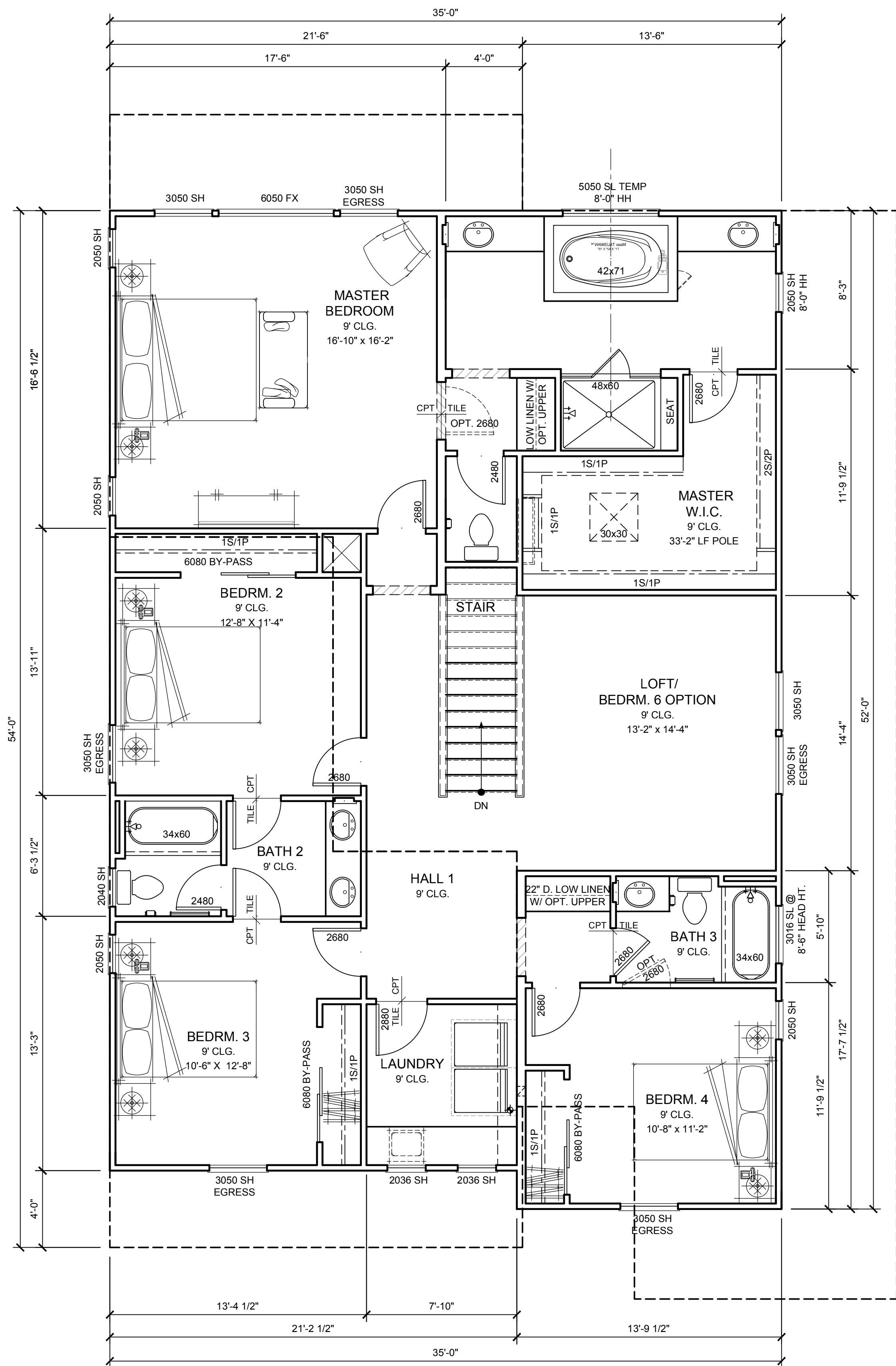


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

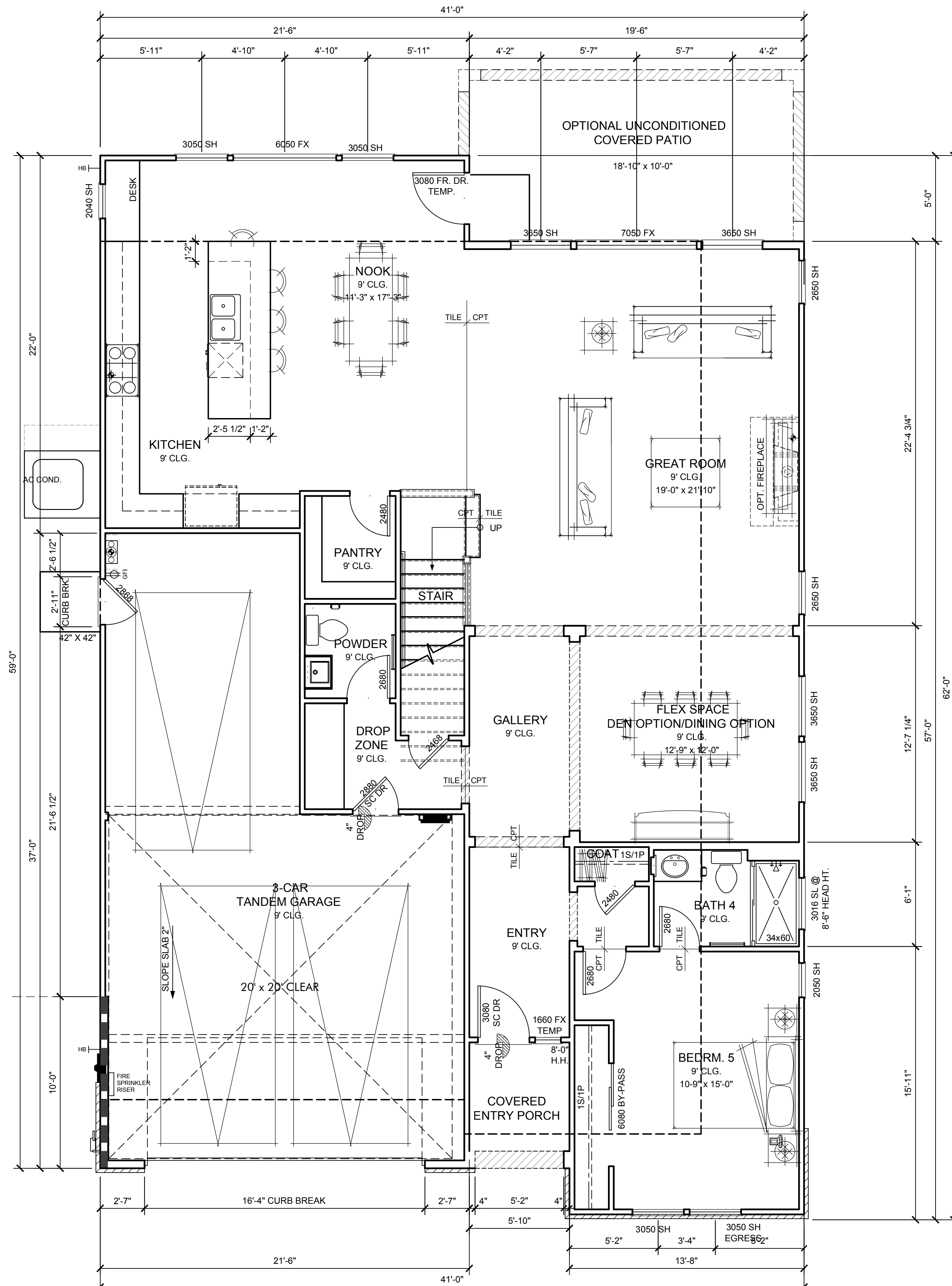
JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A6.0



PLAN 6, SECOND FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

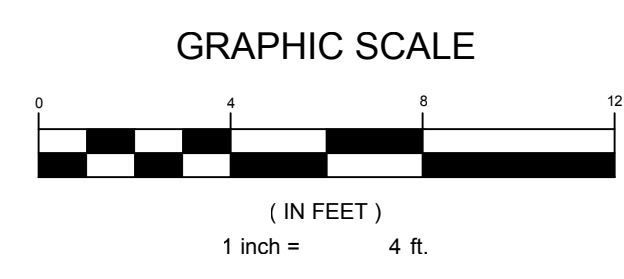


PLAN 6, FIRST FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

PLAN 6	
TOTAL LIVING AREA:	3424 sq. ft.
First Floor	1690 sq. ft.
Second Floor	1734 sq. ft.
3 Car Garage	630 sq. ft.
Entry Porch (Elevation A)	42 sq. ft.
Opt. Unconditioned Covered Patio	195 sq. ft.
5 BR, 4 BA	
1st Flr. Den Option, Dining Rm. Option	
2nd Flr. Bedrm. 6 Option	
Master Closet Pole: 33'-2"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 6
Floor Plans**

LANTANA
for STANDARD PACIFIC HOMES

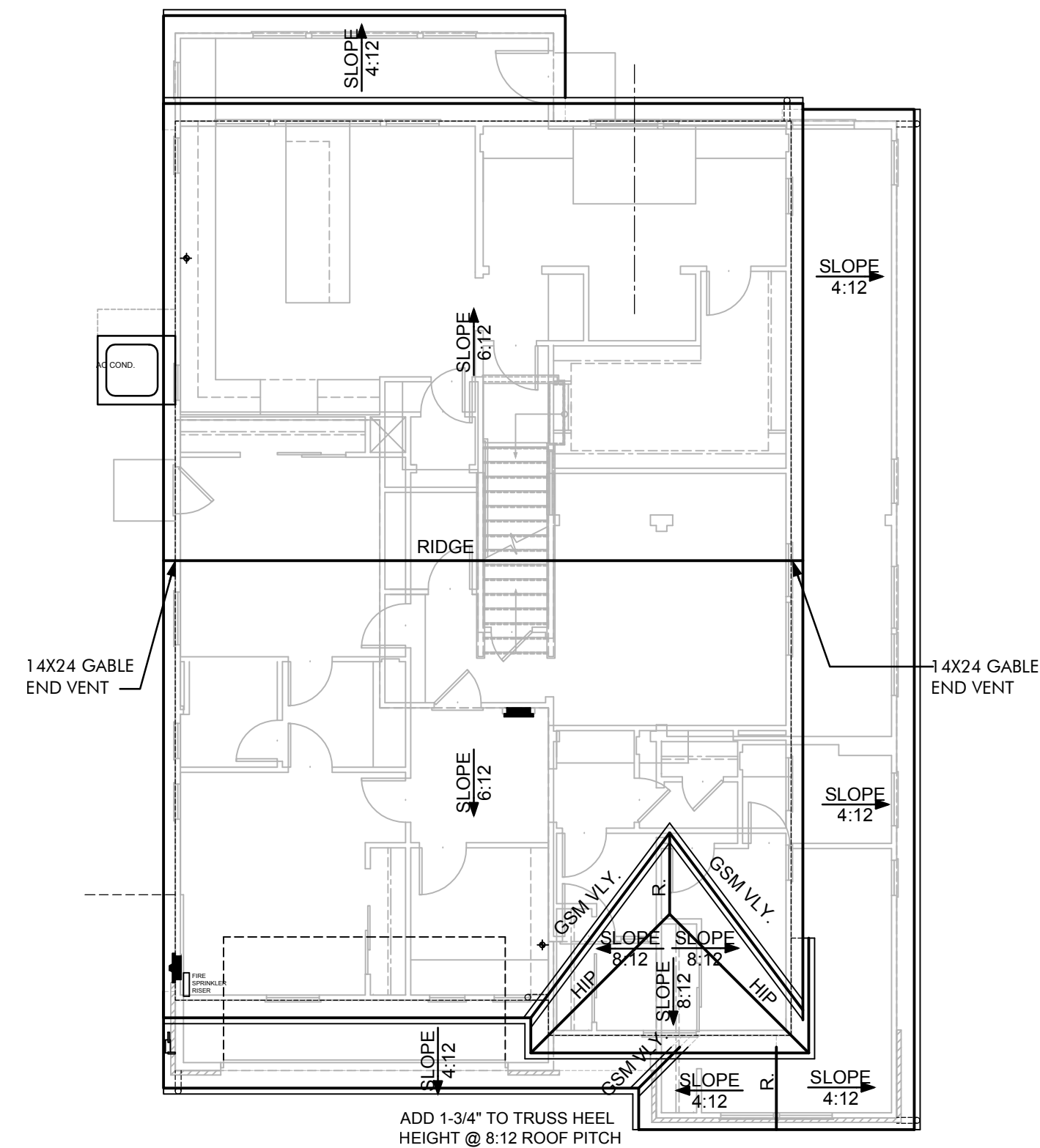


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A6.1



PLAN 6 ROOF PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"



PLAN 6 FRONT ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"

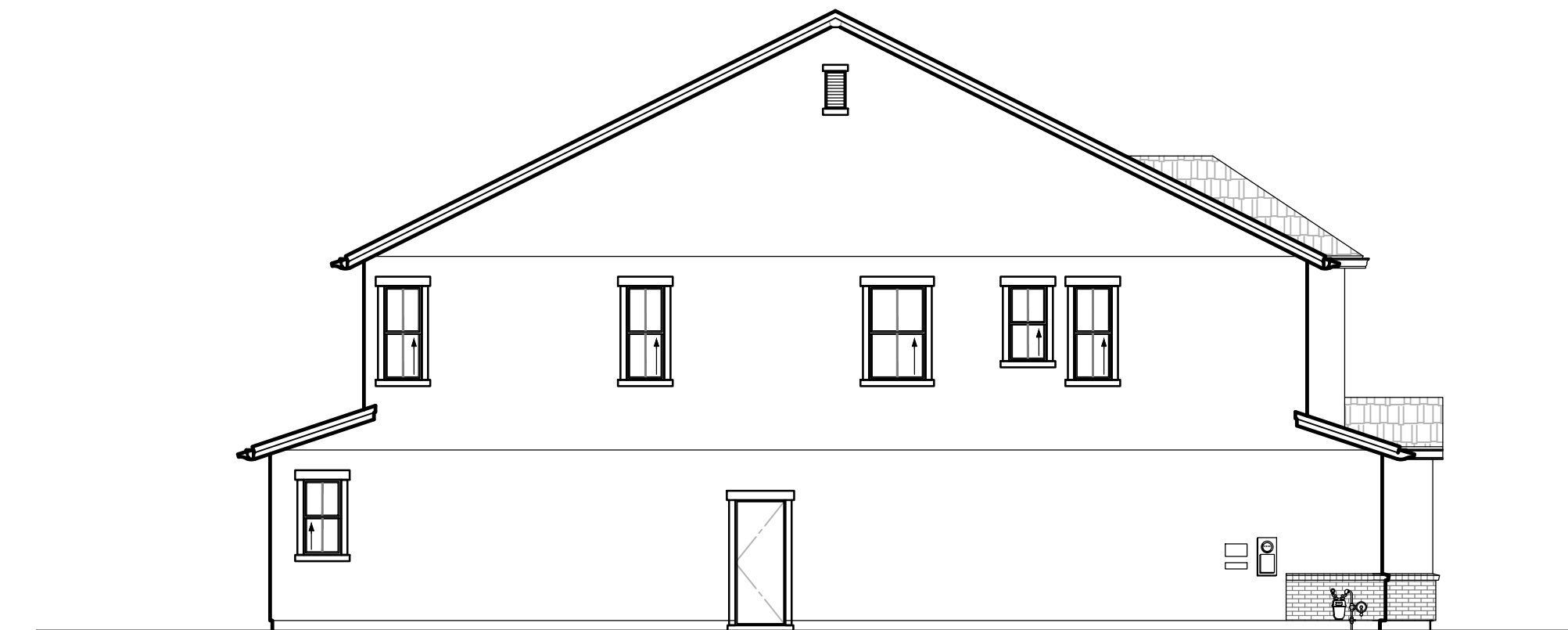
- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



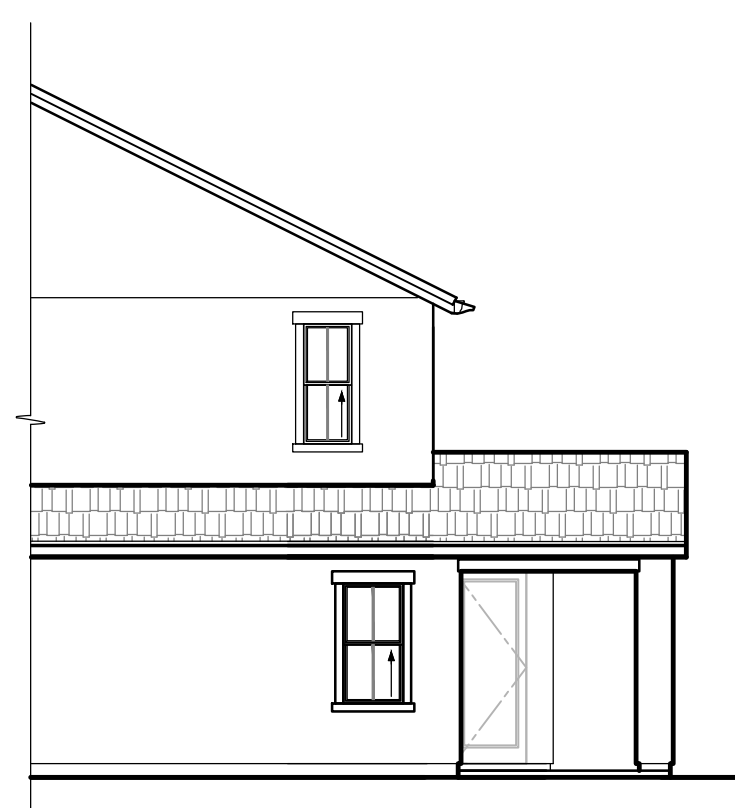
PLAN 6 RIGHT ELEVATION A, FRENCH



PLAN 6 REAR ELEVATION A, FRENCH



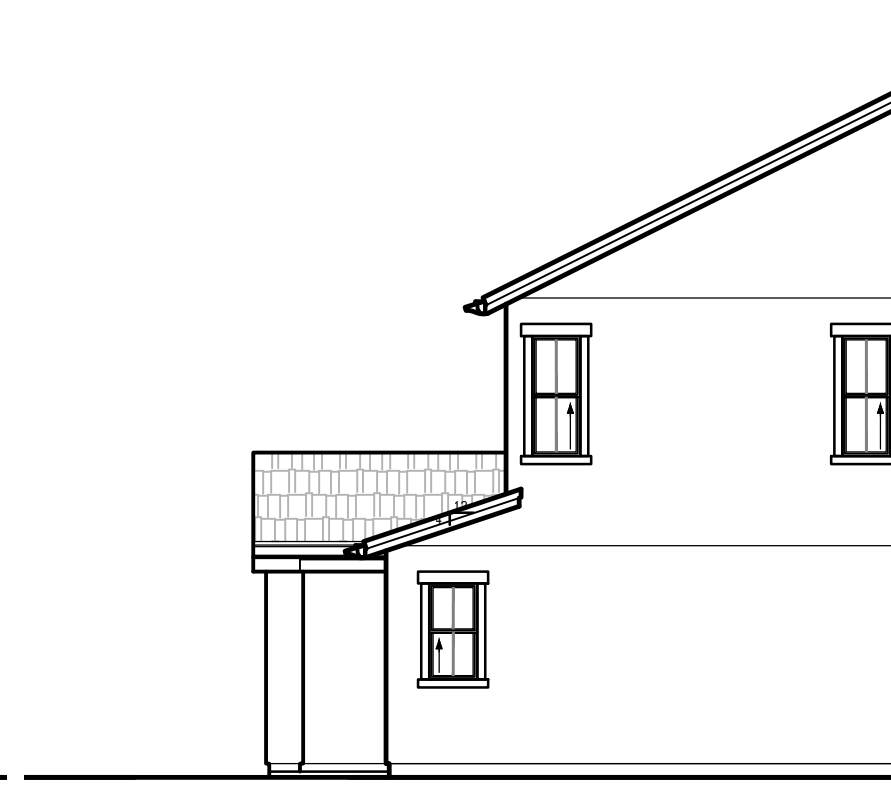
PLAN 6 LEFT ELEVATION A, FRENCH



PLAN 6 RIGHT ELEV. A, FRENCH
 OPTIONAL COVERED OUTDOOR LIVING

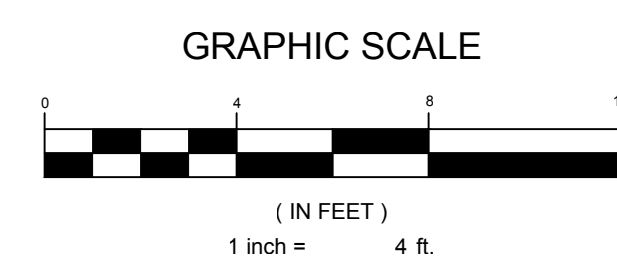


PLAN 6 REAR ELEVATION A, FRENCH
 OPTIONAL COVERED OUTDOOR LIVING



PLAN 6 LEFT ELEV. A, FRENCH
 OPTIONAL COVERED OUTDOOR LIVING

LANTANA
 for STANDARD PACIFIC HOMES



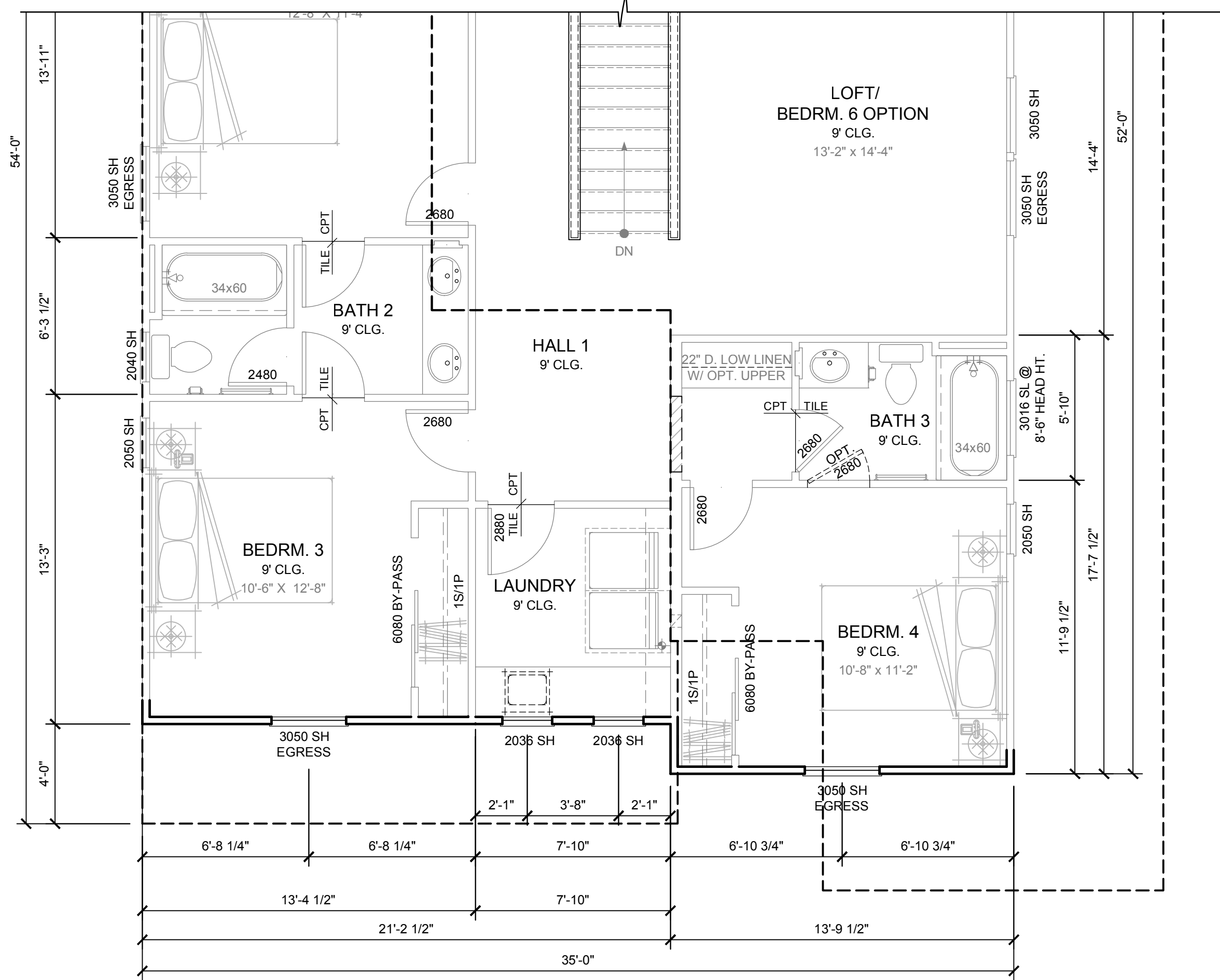
5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 6
Elevation A, French
Elevations & Roof Plan

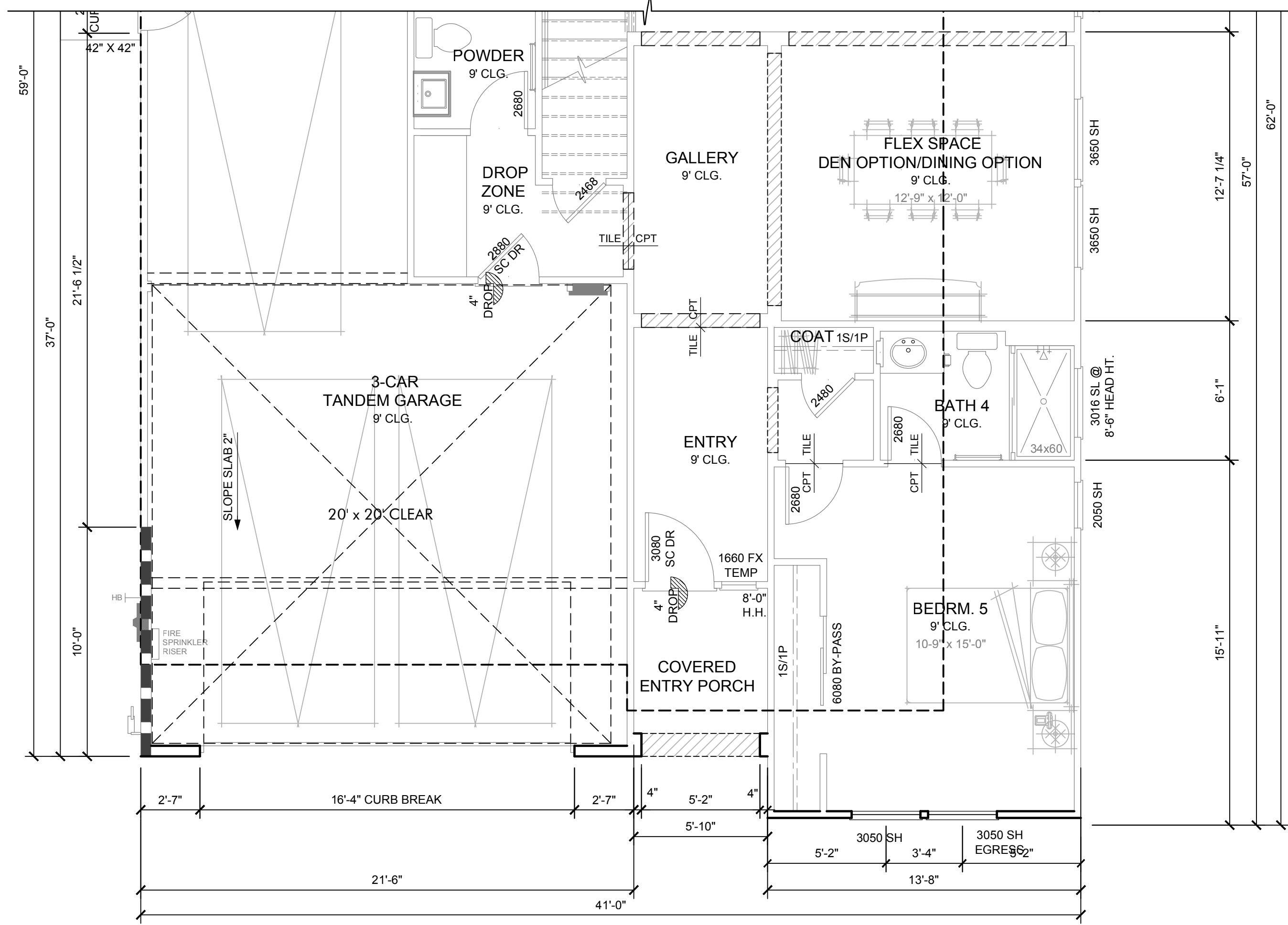
JOB NO. 360.047

DATE:
 Residential Planned Development Review 08-29-2014

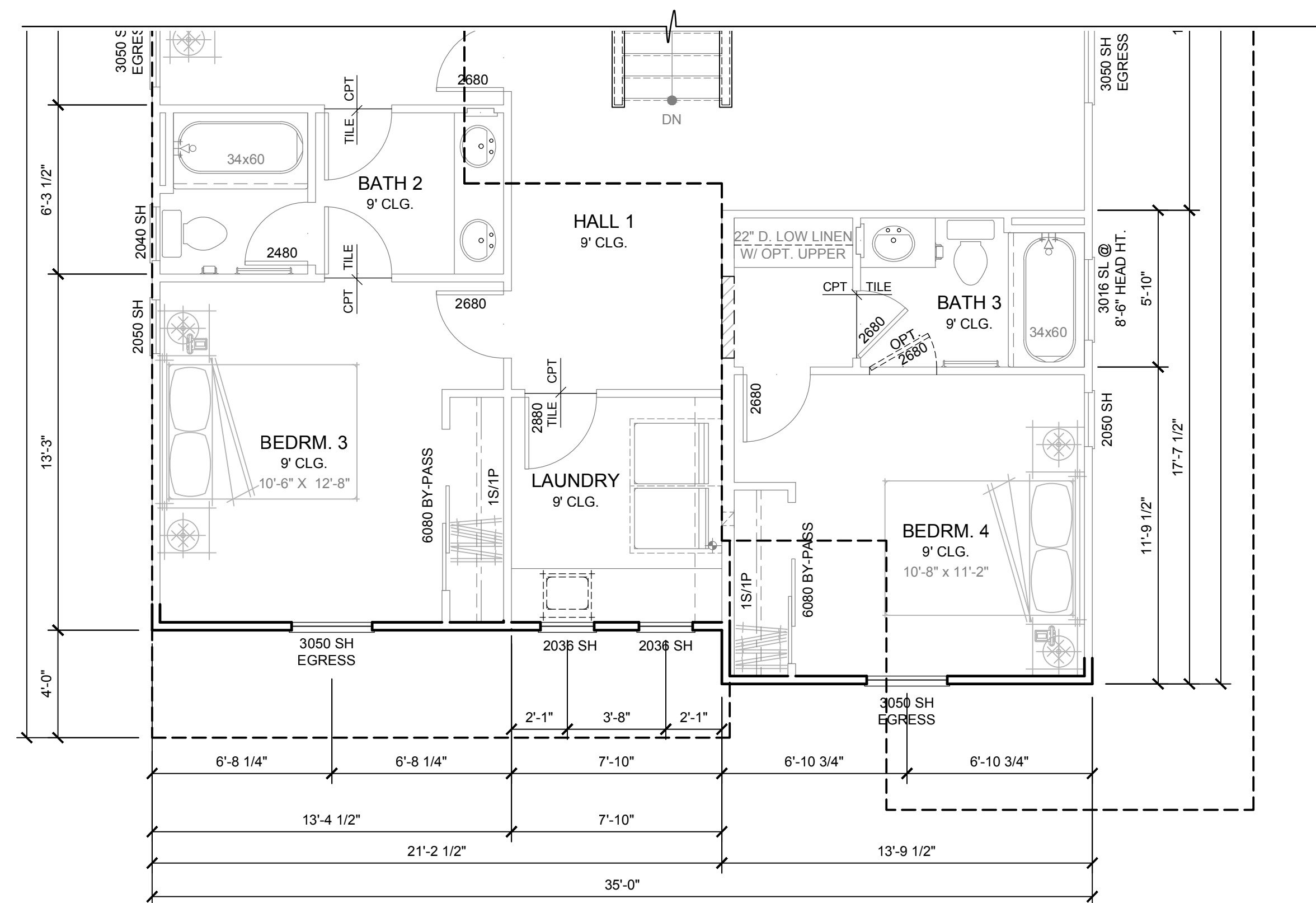
A6.2



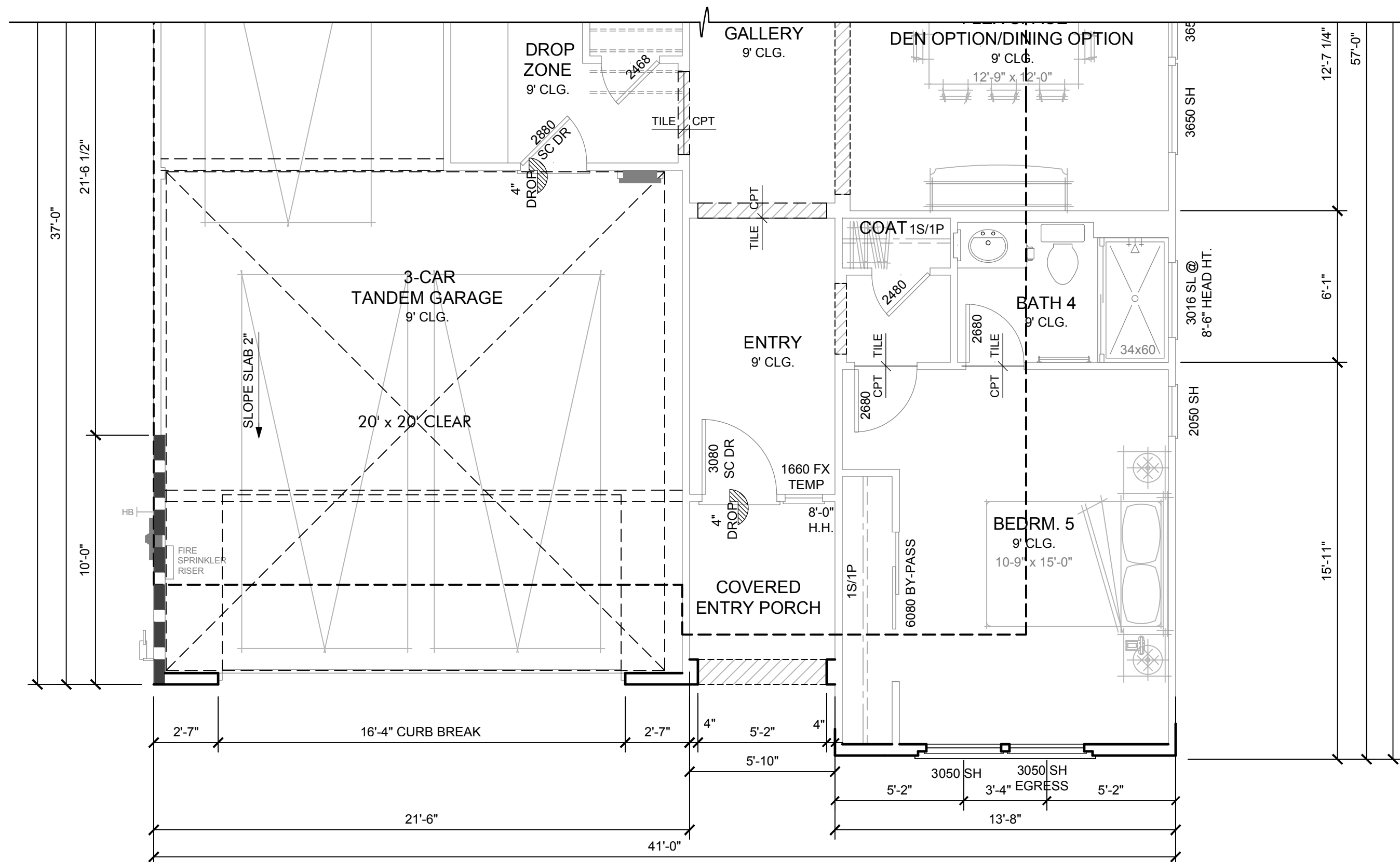
PLAN 6, SECOND FLOOR PLAN, ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"



PLAN 6, FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"



PLAN 6, SECOND FLOOR PLAN, ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"



PLAN 6, FIRST FLOOR PLAN, ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

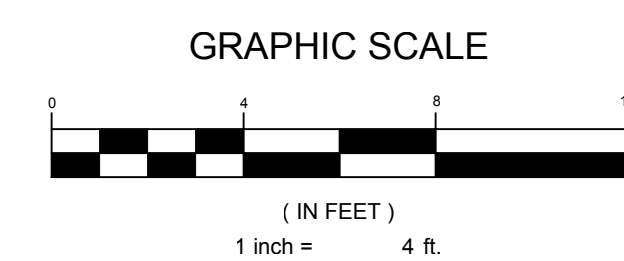
PLAN 6	
TOTAL LIVING AREA:	3424 sq. ft.
First Floor	1690 sq. ft.
Second Floor	1734 sq. ft.
3 Car Garage	630 sq. ft.
Entry Porch (Elevation A)	42 sq. ft.
Opt. Unconditioned Covered Patio	195 sq. ft.
5 BR, 4 BA	
1st Flr. Den Option, Dining Rm. Option	
2nd Flr. Bedrm. 6 Option	
Master Closet Pole: 33'-2"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 6
Partial
Floor Plans**

JOB NO. 360.047

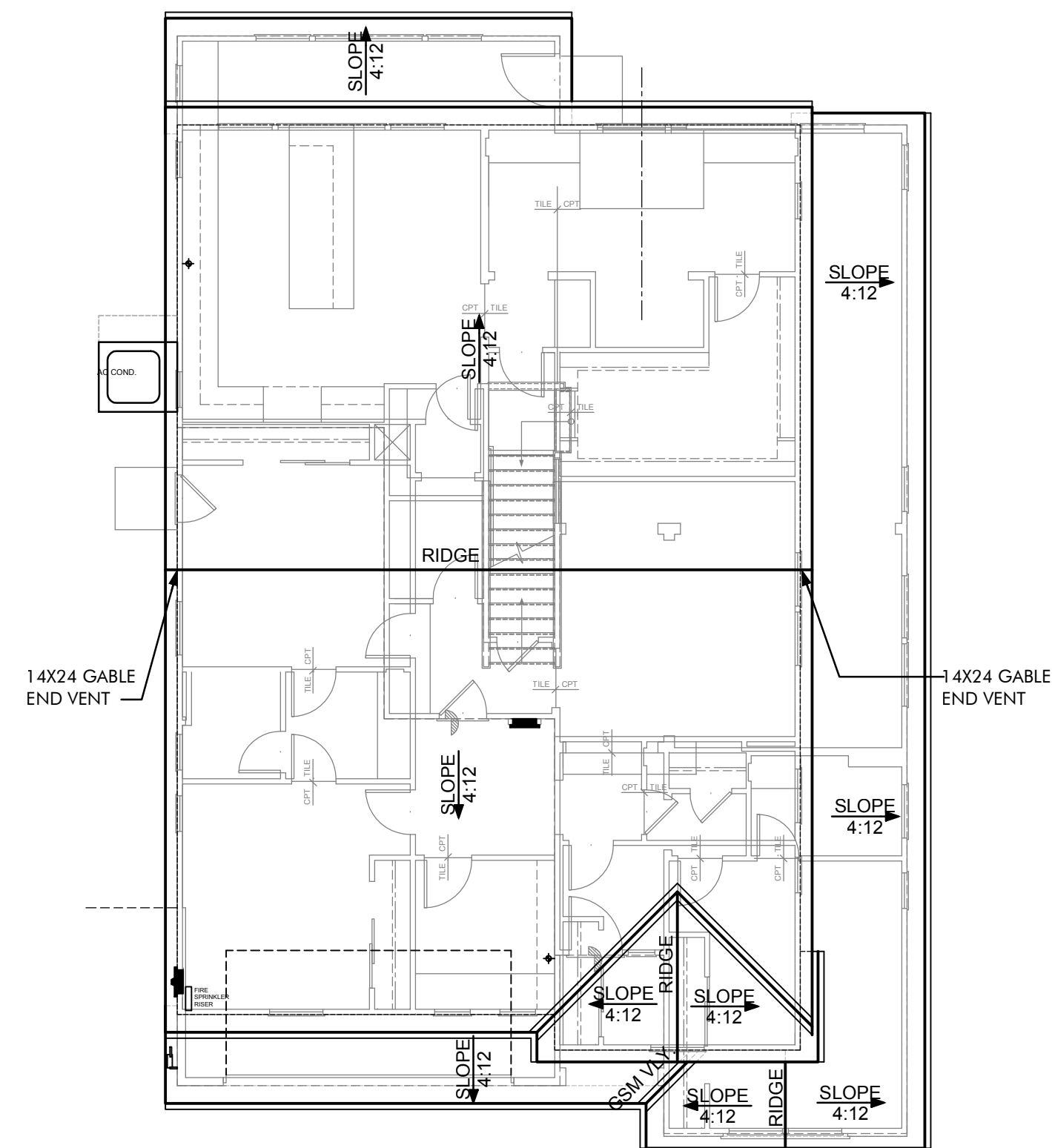
DATE: Residential Planned Development Review 08-29-2014

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A6.3



**PLAN 6 ROOF PLAN
ELEVATION B, SPANISH**
SCALE: 1/8" = 1'-0"



PLAN 6 FRONT ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

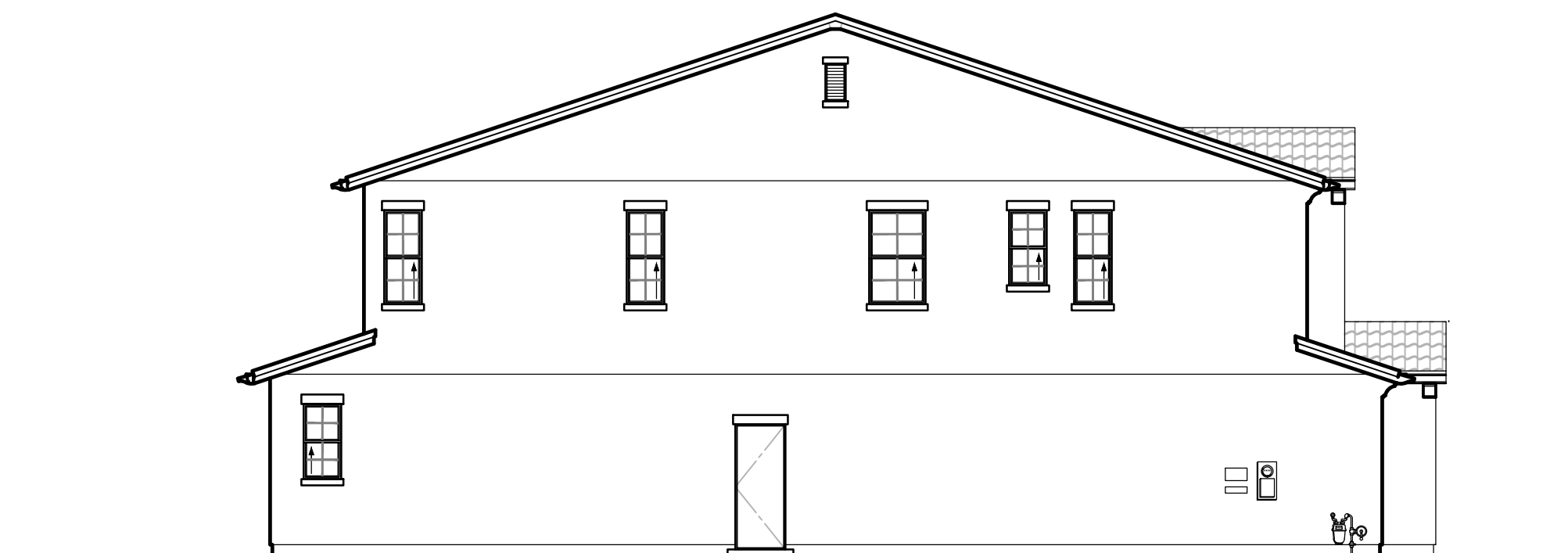
- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



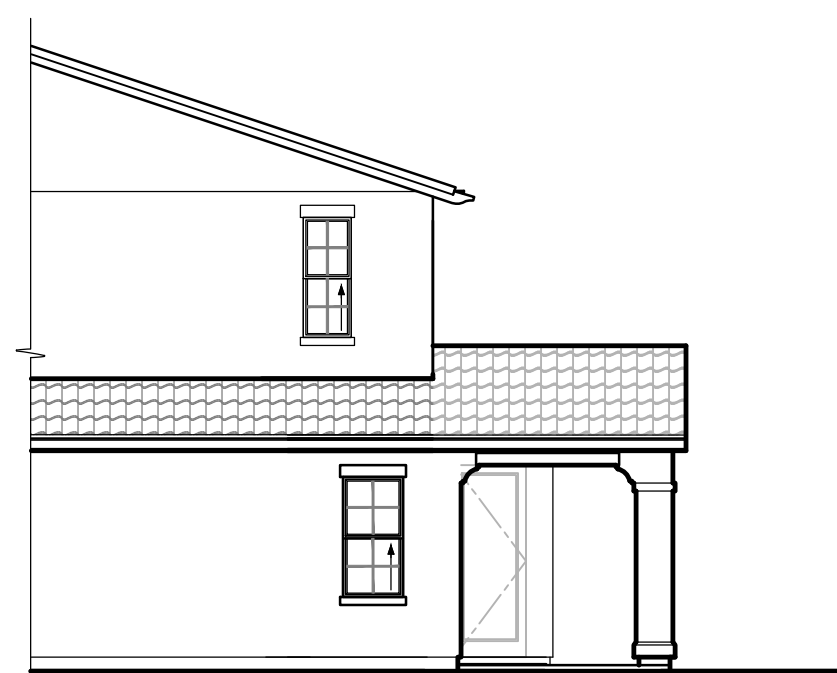
PLAN 6 RIGHT ELEVATION B, SPANISH



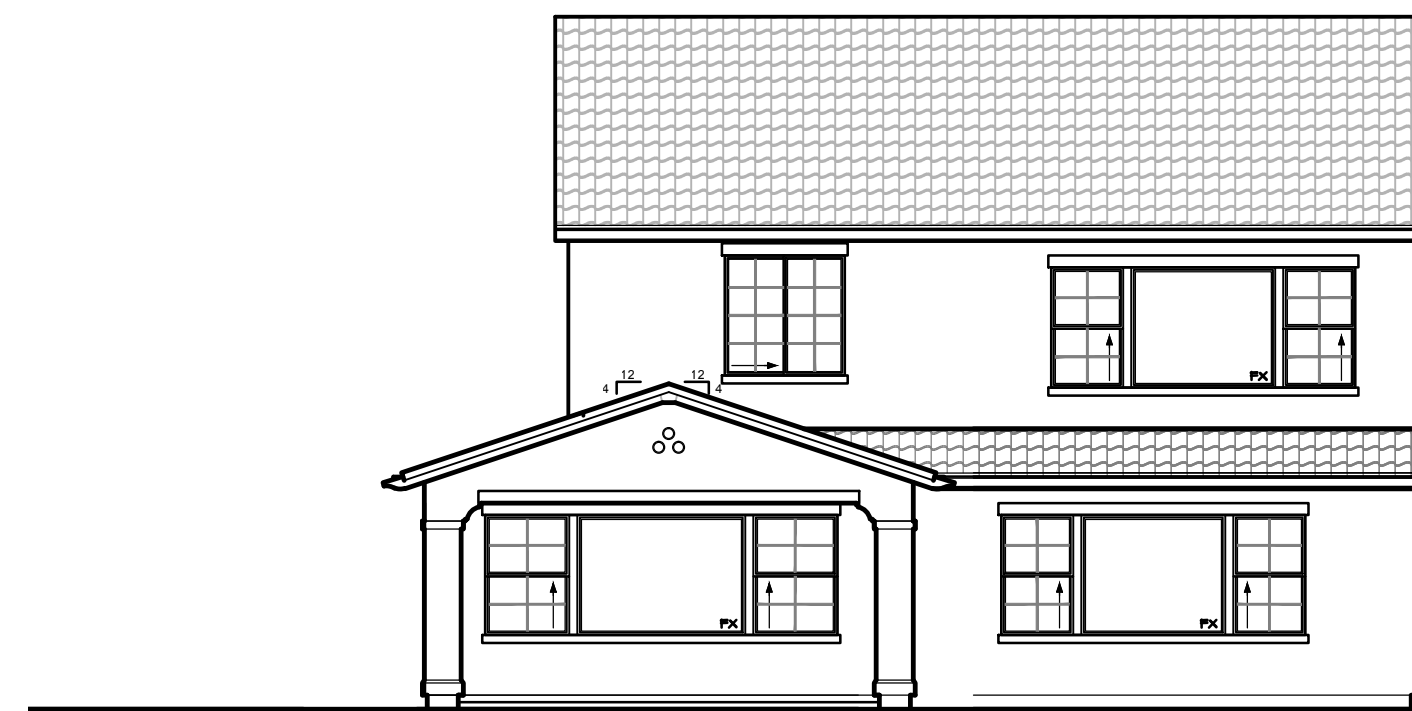
PLAN 6 REAR ELEVATION B, SPANISH



PLAN 6 LEFT ELEVATION B, SPANISH



PLAN 6 RIGHT ELEV. B, SPANISH
OPTIONAL COVERED OUTDOOR LIVING

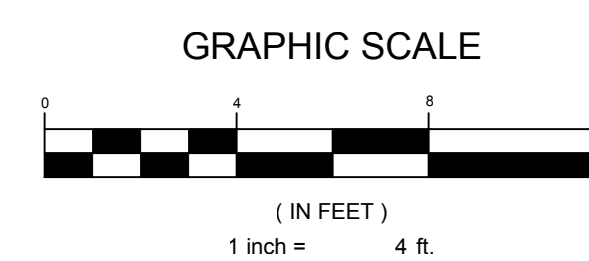


PLAN 6 REAR ELEVATION B, SPANISH
OPTIONAL COVERED OUTDOOR LIVING



PLAN 6 LEFT ELEV. B, SPANISH
OPTIONAL COVERED OUTDOOR LIVING

LANTANA
for STANDARD PACIFIC HOMES



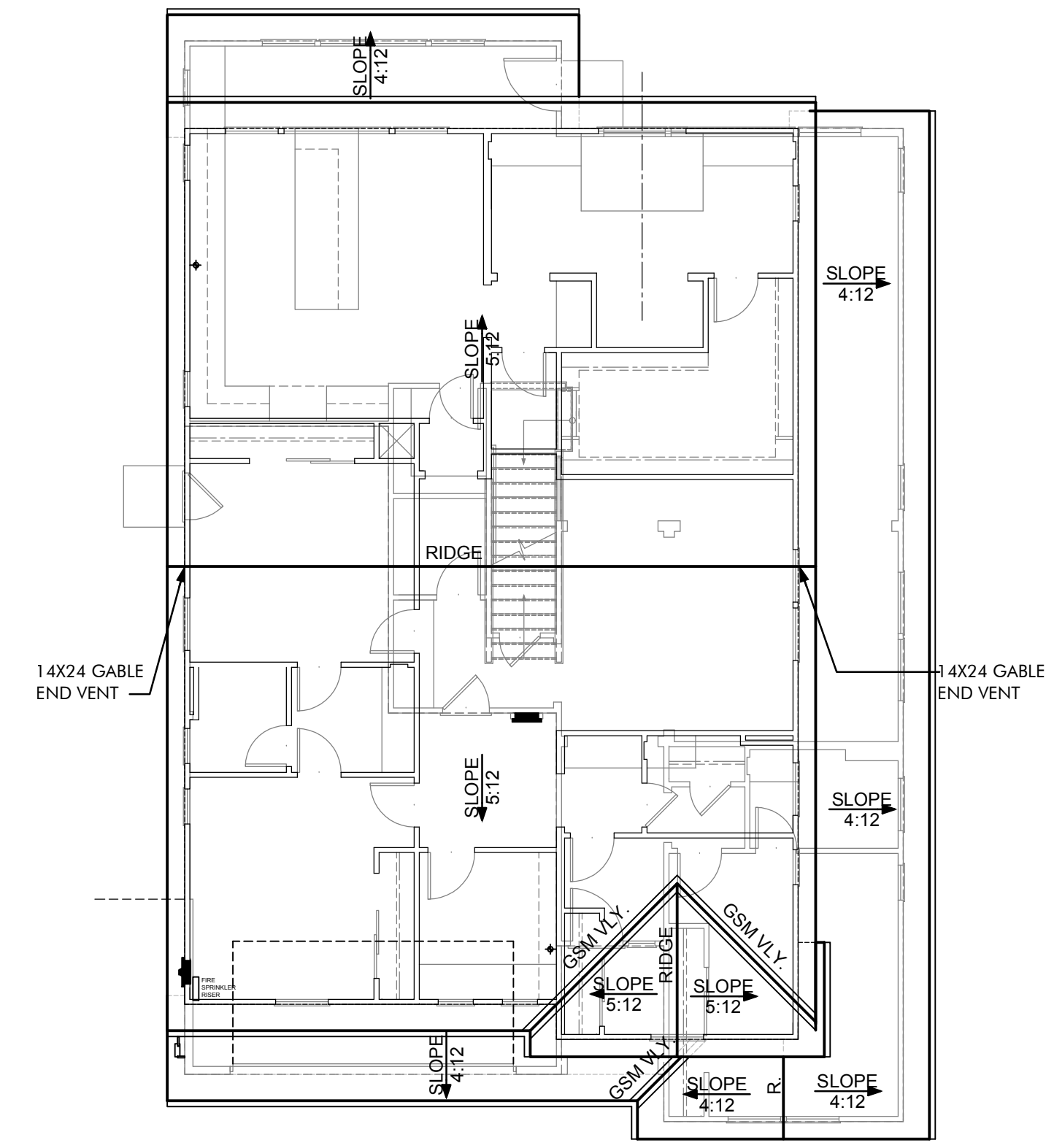
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 6
Elevation B, Spanish
Elevations & Roof Plan**

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A6.4



**PLAN 6 ROOF PLAN
ELEVATION C, CRAFTSMAN**
SCALE: 1/8" = 1'-0"



PLAN 6 FRONT ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"

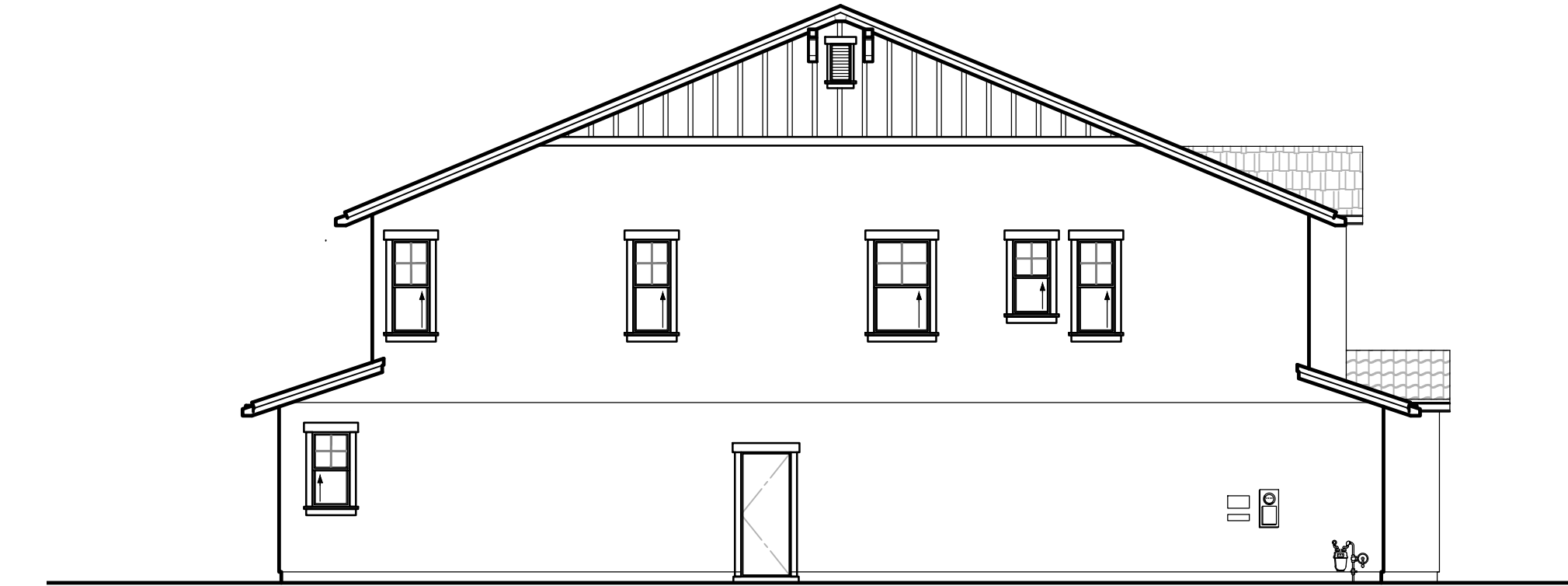
- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 6 RIGHT ELEVATION C, CRAFTSMAN



PLAN 6 REAR ELEVATION C, CRAFTSMAN



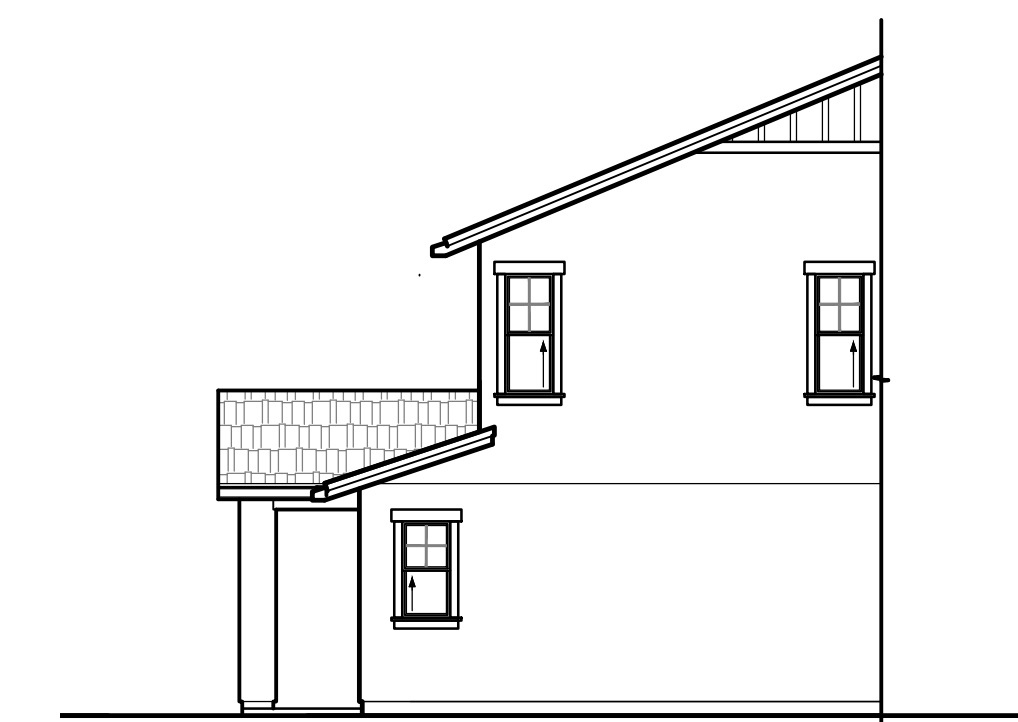
PLAN 6 LEFT ELEVATION C, CRAFTSMAN



PLAN 6 RIGHT ELEVATION C, CRAFTSMAN
OPTIONAL COVERED OUTDOOR LIVING

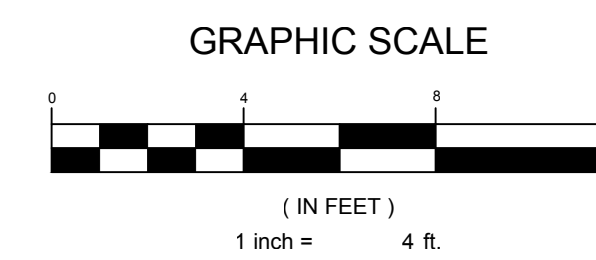


PLAN 6 REAR ELEVATION C, CRAFTSMAN
OPTIONAL COVERED OUTDOOR LIVING



PLAN 6 LEFT ELEVATION C, CRAFTSMAN
OPTIONAL COVERED OUTDOOR LIVING

LANTANA
for STANDARD PACIFIC HOMES



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 6
Elevation C, Craftsman
Elevations & Roof Plan**

JOB NO. 360.047

DATE:
Residential Planned Development Review 08-29-2014

A6.5



- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE

PLAN 7 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



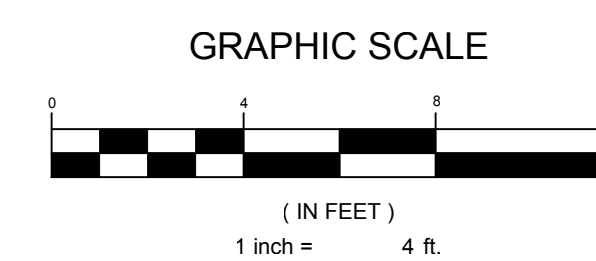
PLAN 7 FRONT ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"



- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE "S" TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

PLAN 7 FRONT ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

LANTANA
for STANDARD PACIFIC HOMES



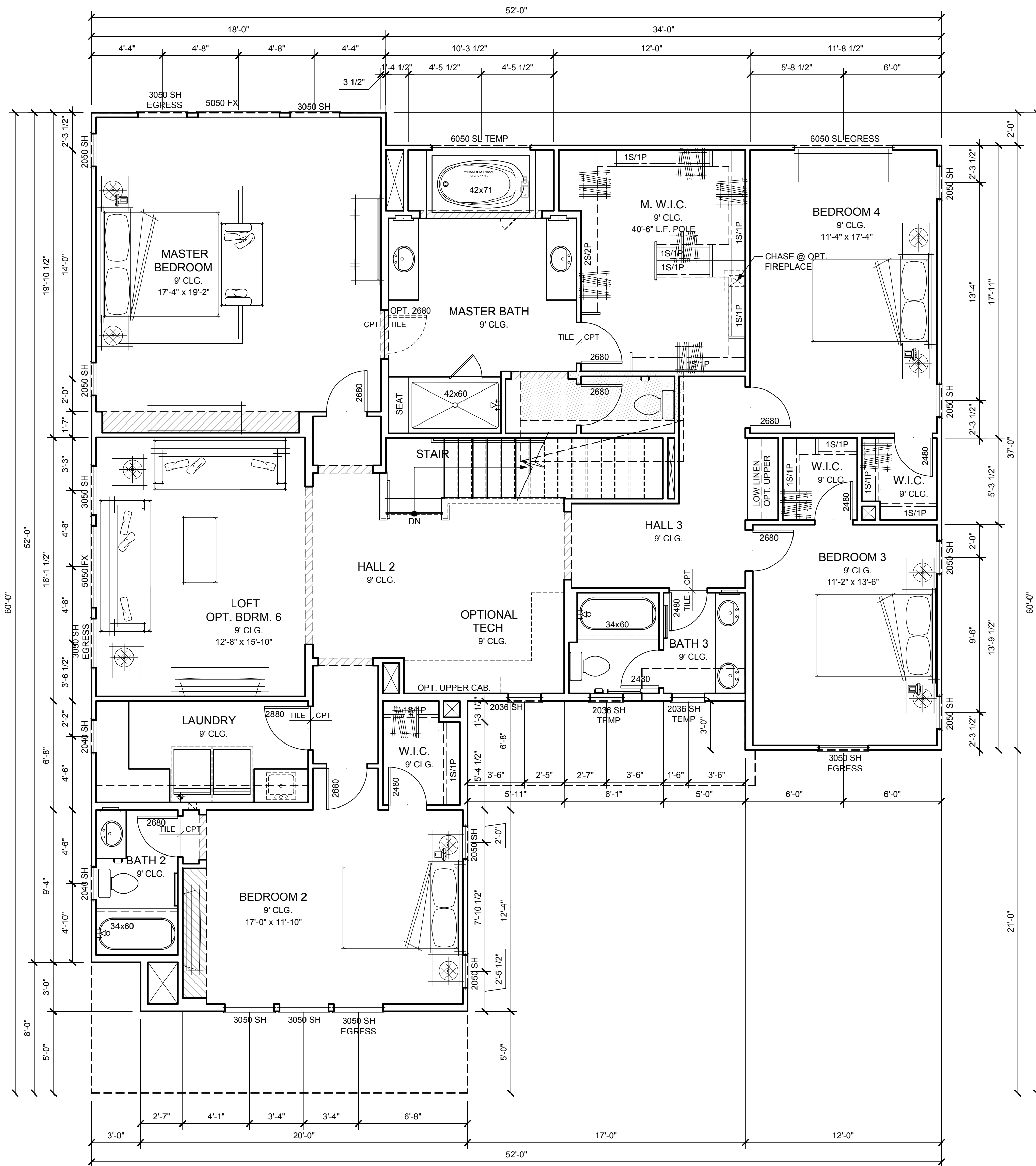
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 7
Elevations**

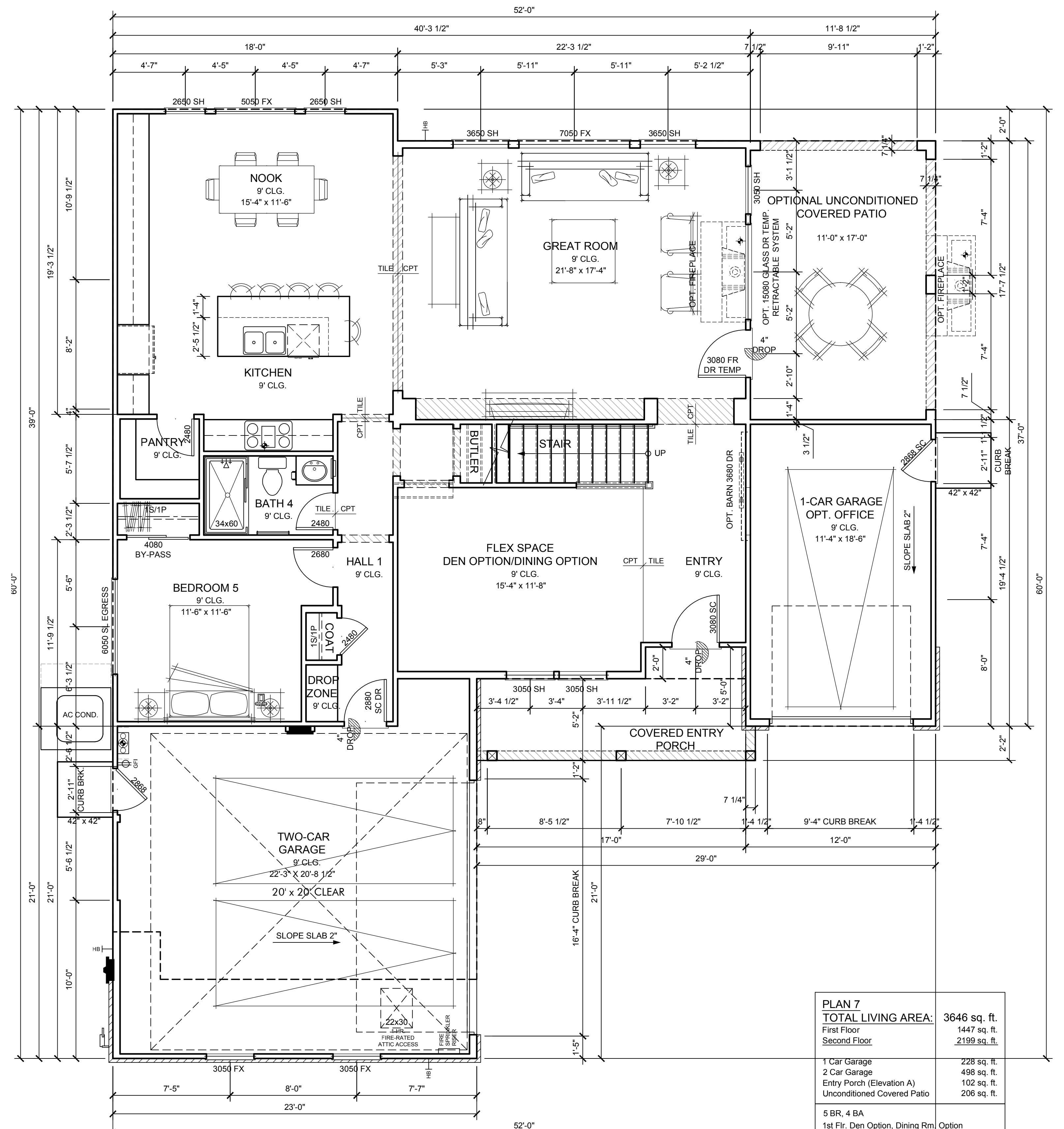
JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A7.0



PLAN 7
SECOND FLOOR PLAN, ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"

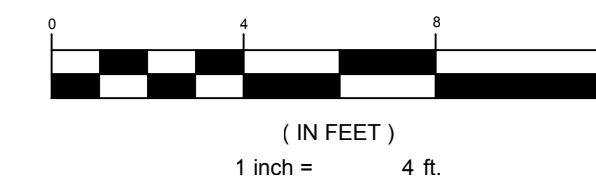


PLAN 7
FIRST FLOOR PLAN ELEVATION A, FRENCH
 SCALE: 1/4" = 1'-0"

PLAN 7	
TOTAL LIVING AREA:	3646 sq. ft.
First Floor	1447 sq. ft.
Second Floor	2199 sq. ft.
1 Car Garage	228 sq. ft.
2 Car Garage	498 sq. ft.
Entry Porch (Elevation A)	102 sq. ft.
Unconditioned Covered Patio	206 sq. ft.
5 BR, 4 BA	
1st Flr. Den Option, Dining Rm. Option	
Bonus Rm. Option (I.L.C.), 1-car Garage add 228 sq. ft.	
2nd Flr. Bdrm. 6 Option	
Master Closet Pole: 44'-4"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage, U.N.O.</small>	

LANTANA
 for STANDARD PACIFIC HOMES

GRAPHIC SCALE



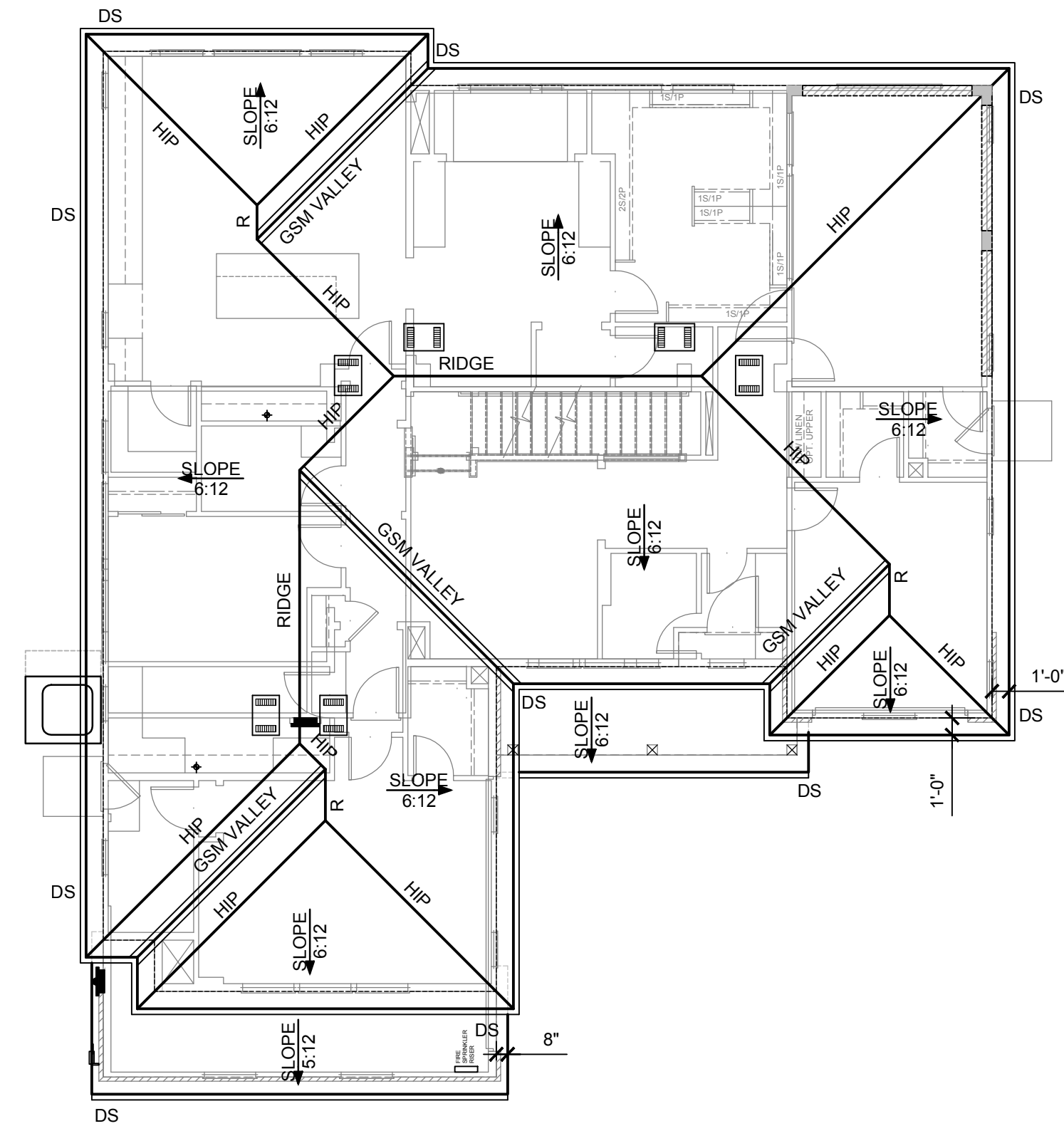
DAHLIN
 group

5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

Plan 7
Floor Plans

JOB NO. 360.047

DATE: **A7.1**
 Residential Planned Development Review 08-29-2014



**PLAN 7 ROOF PLAN
ELEVATION A, FRENCH**
SCALE: 1/8" = 1'-0"



PLAN 7 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

**PLAN 7
PARTIAL ELEV.
A, FRENCH AT
BONUS RM. OPTION**
SCALE: 1/4" = 1'-0"



PLAN 7 RIGHT SIDE ELEVATION A, FRENCH



PLAN 7 REAR ELEVATION A, FRENCH

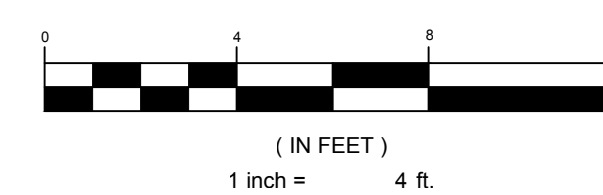


PLAN 7 LEFT SIDE ELEVATION A, FRENCH

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHSELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN

LANTANA
for STANDARD PACIFIC HOMES

GRAPHIC SCALE



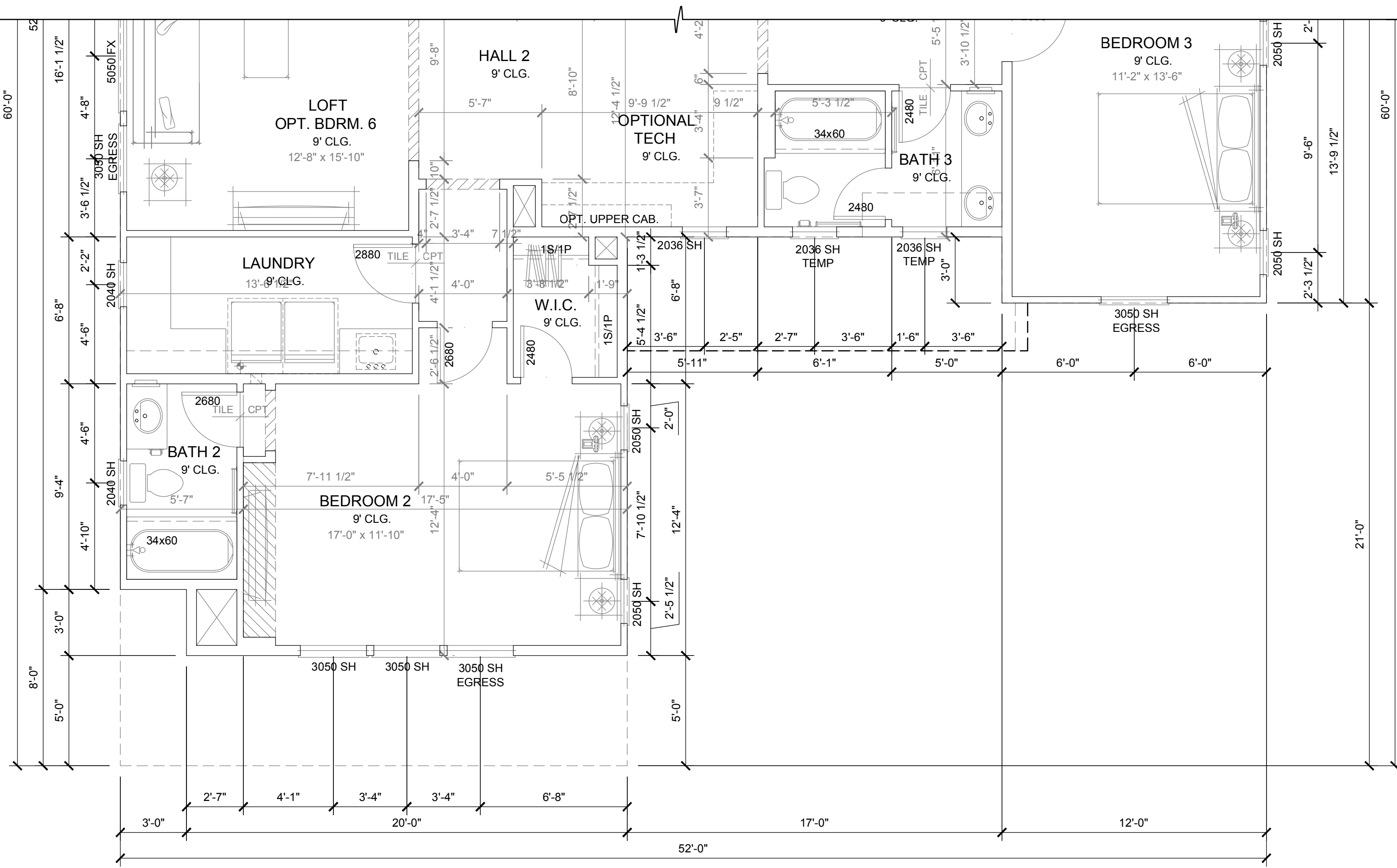
DAHLIN
group

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

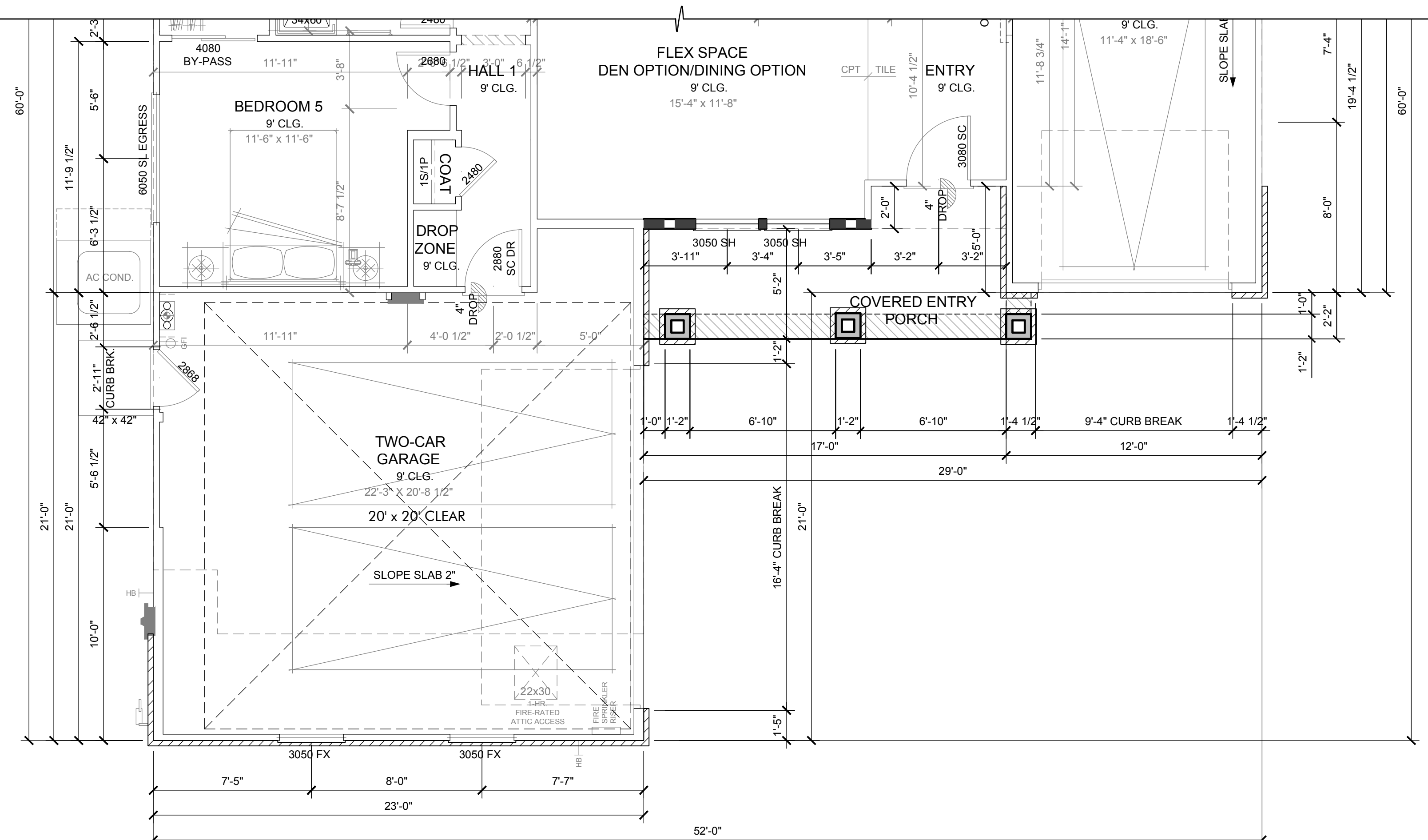
**Plan 7
Elevation A, French
Elevations & Roof Plan**

JOB NO. 360.047

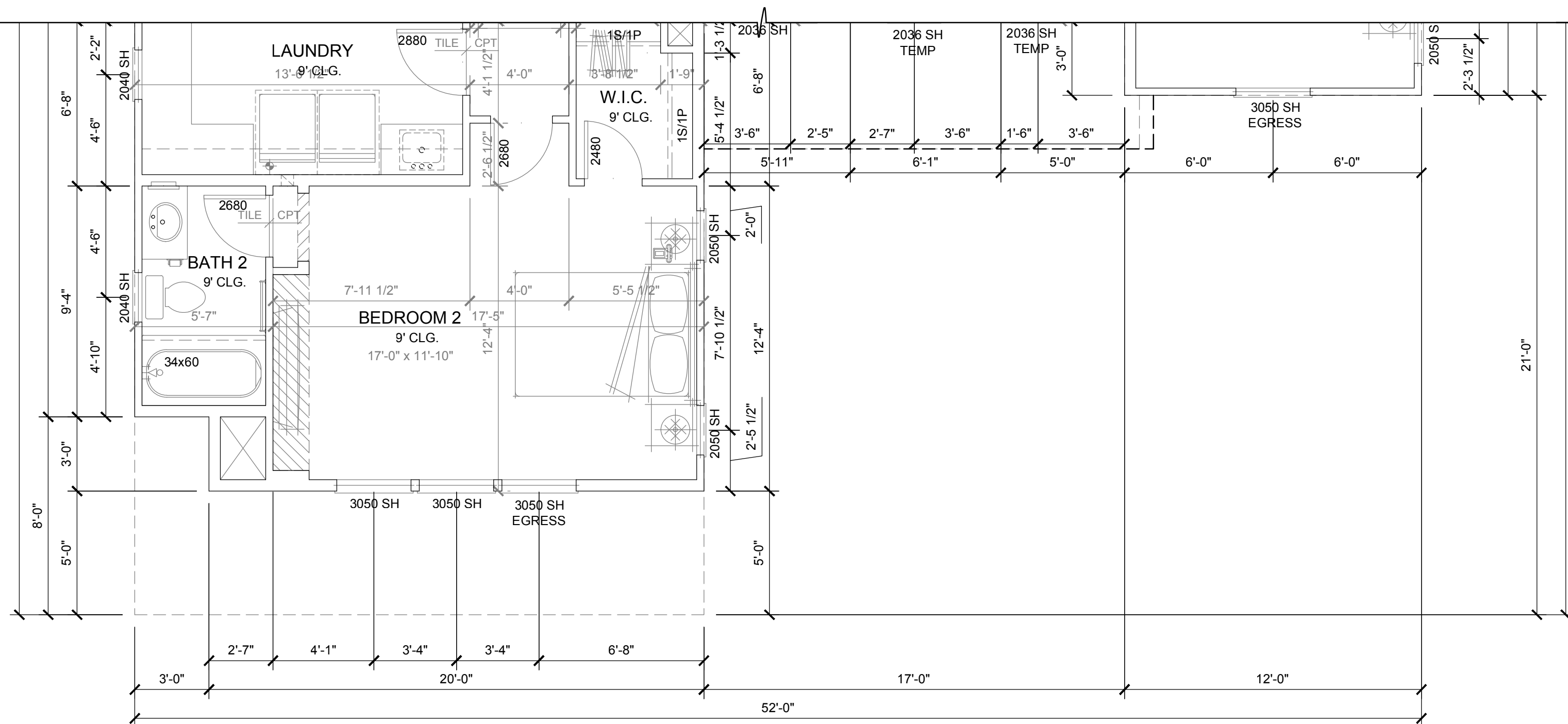
DATE: **A7.2**
Residential Planned Development Review 08-29-2014



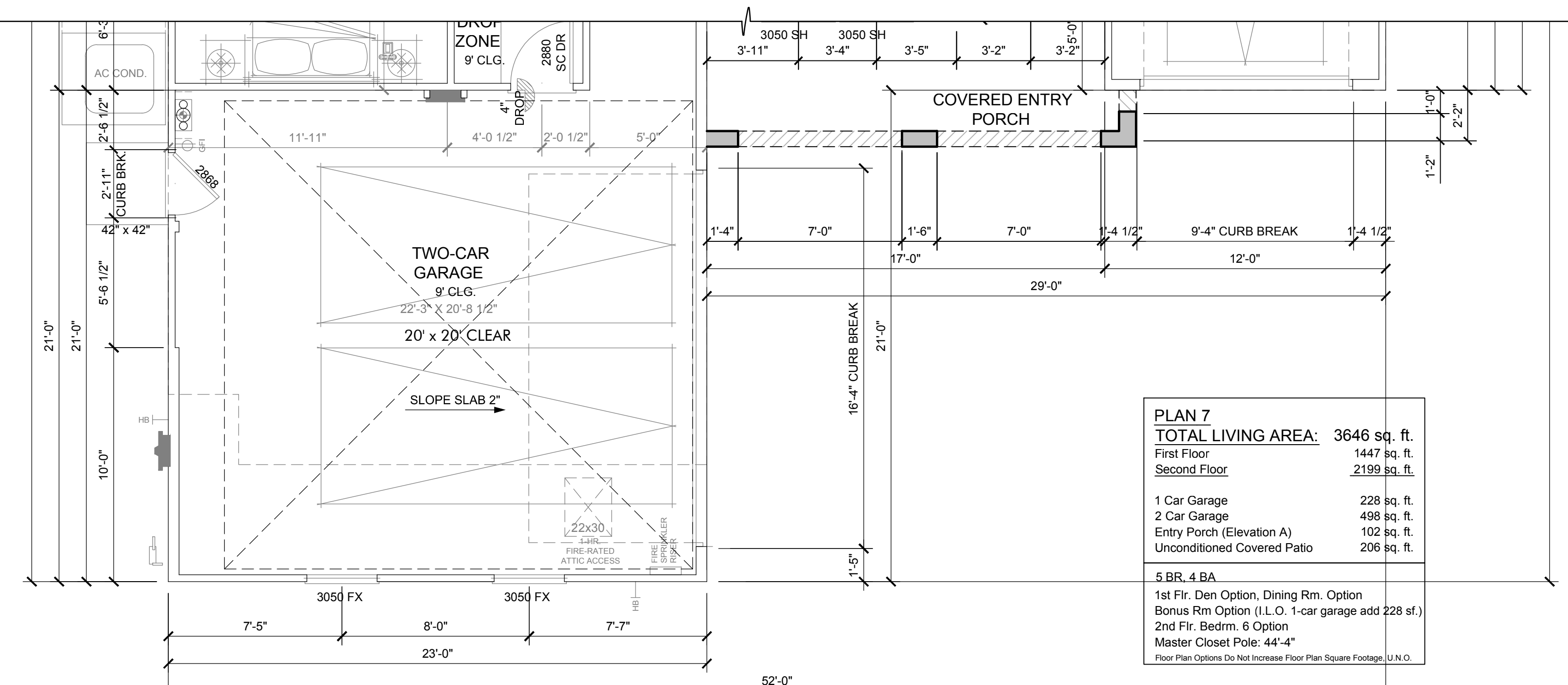
PLAN 7
SECOND FLOOR PLAN, ELEVATION C, CRAFTSMAN
 SCALE: 1/4" = 1'-0"



PLAN 7
FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN
 SCALE: 1/4" = 1'-0"



PLAN 7
SECOND FLOOR PLAN, ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"



PLAN 7
FIRST FLOOR PLAN, ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"

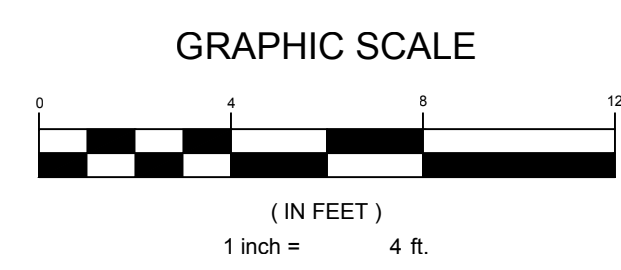
PLAN 7	
TOTAL LIVING AREA:	3646 sq. ft.
First Floor	1447 sq. ft.
Second Floor	2199 sq. ft.
1 Car Garage	228 sq. ft.
2 Car Garage	498 sq. ft.
Entry Porch (Elevation A)	102 sq. ft.
Unconditioned Covered Patio	206 sq. ft.
5 BR. 4 BA.	
1st Fir. Den Option, Dining Rm. Option	
Bonus Rm Option (I.L.O. 1-car garage add 228 sf.)	
2nd Fir. Bdrm. 6 Option	
Master Closet Pole: 44'-4"	
Floor Plan Options Do Not Increase Floor Plan Square Footage, U.N.O.	

Plan 7
Partial
Floor Plans

JOB NO. 360.047

DATE:
 Residential Planned Development Review 08-29-2014

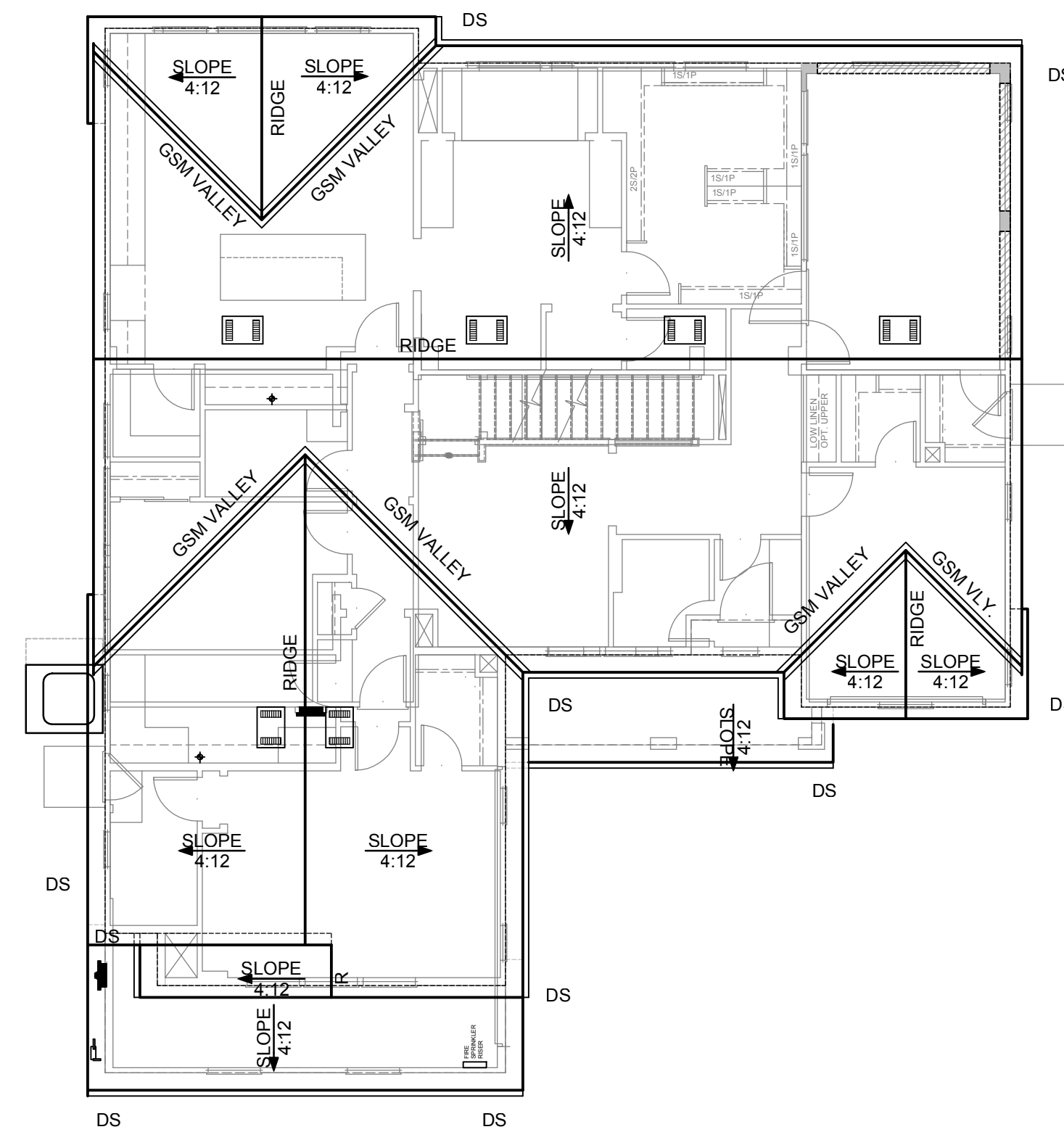
LANTANA
 for STANDARD PACIFIC HOMES



DAHLIN
 group

5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A7.3



**PLAN 7 ROOF PLAN
ELEVATION B, SPANISH**
SCALE: 1/8" = 1'-0"



PLAN 7 FRONT ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

**PLAN 7
PARTIAL ELEV.
B, SPANISH AT
BONUS RM. OPTION**
SCALE: 1/4" = 1'-0"



PLAN 7 RIGHT SIDE ELEVATION B, SPANISH



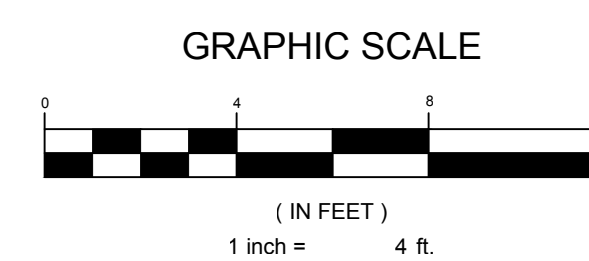
PLAN 7 REAR ELEVATION B, SPANISH



PLAN 7 LEFT SIDE ELEVATION B, SPANISH

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS

LANTANA
for STANDARD PACIFIC HOMES

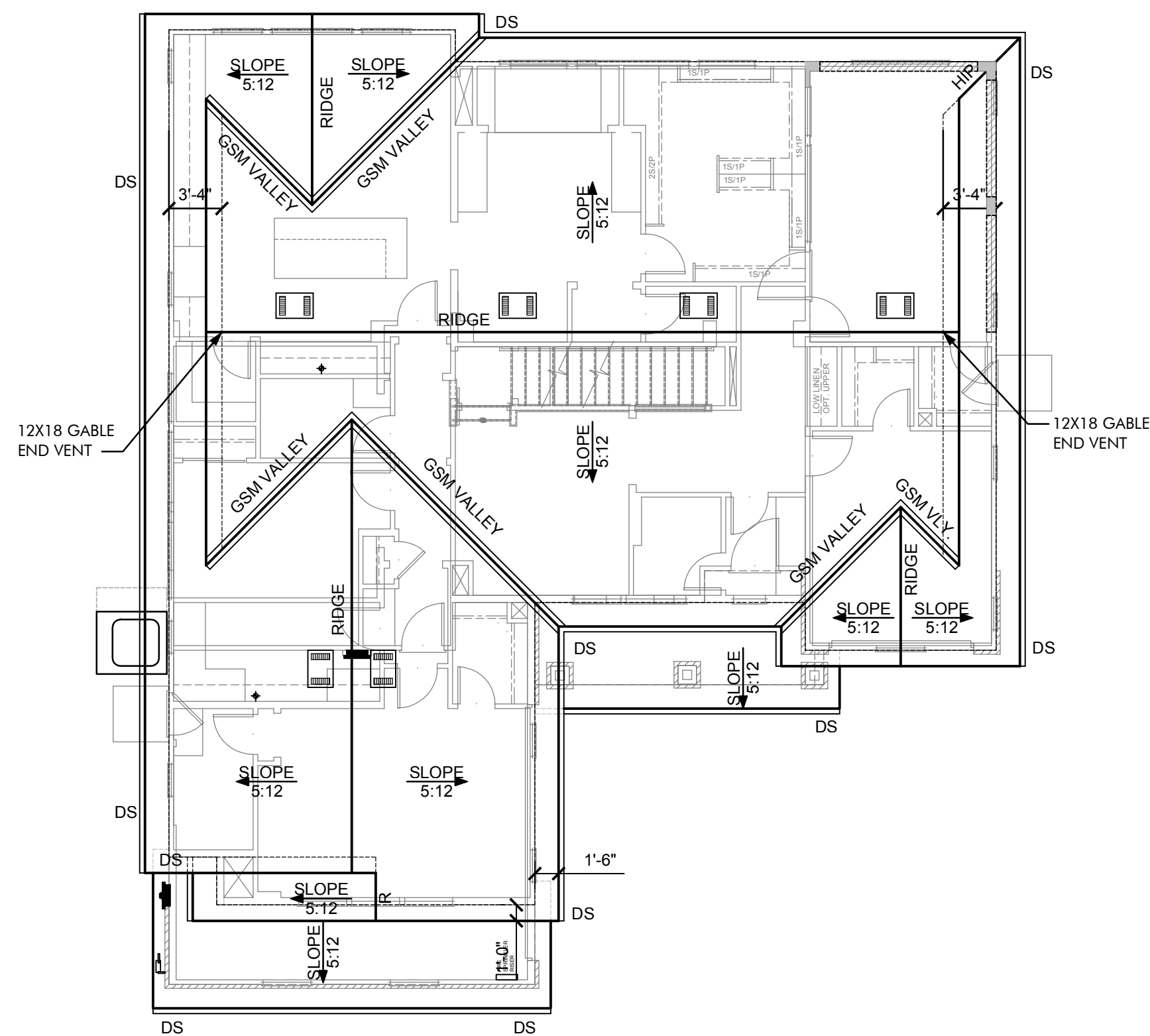


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 7
Elevation B, Spanish
Elevations & Roof Plan**

JOB NO. 360.047

DATE: **A7.4**
Residential Planned Development Review 08-29-2014



**PLAN 7 ROOF PLAN
ELEVATION C, CRAFTSMAN**
SCALE: 1/8" = 1'-0"



PLAN 7 FRONT ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"

**PLAN 7
PARTIAL ELEV.
C, CRAFTSMAN AT
BONUS RM. OPTION**
SCALE: 1/4" = 1'-0"



PLAN 7 RIGHT SIDE ELEVATION C, CRAFTSMAN



PLAN 7 REAR ELEVATION C, CRAFTSMAN

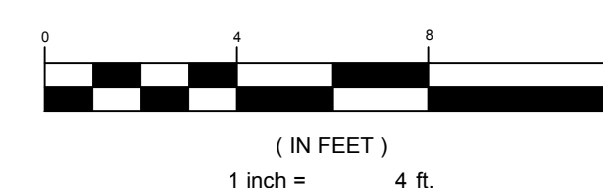


PLAN 7 LEFT SIDE ELEVATION C, CRAFTSMAN

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3 VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE

LANTANA
for STANDARD PACIFIC HOMES

GRAPHIC SCALE



DAHLIN
group

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

**Plan 7
Elevation C, Craftsman
Elevations & Roof Plan**

JOB NO. 360.047

DATE: **A7.5**
Residential Planned Development Review 08-29-2014

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



PLAN 8 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



PLAN 8 FRONT ELEVATION C, CRAFTSMAN
SCALE: 1/4" = 1'-0"

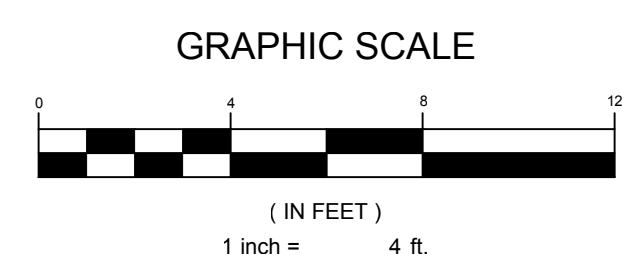
- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE "S" TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO w/ FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



PLAN 8 FRONT ELEVATION B, SPANISH
SCALE: 1/4" = 1'-0"

Plan 8 Elevations

LANTANA
for STANDARD PACIFIC HOMES

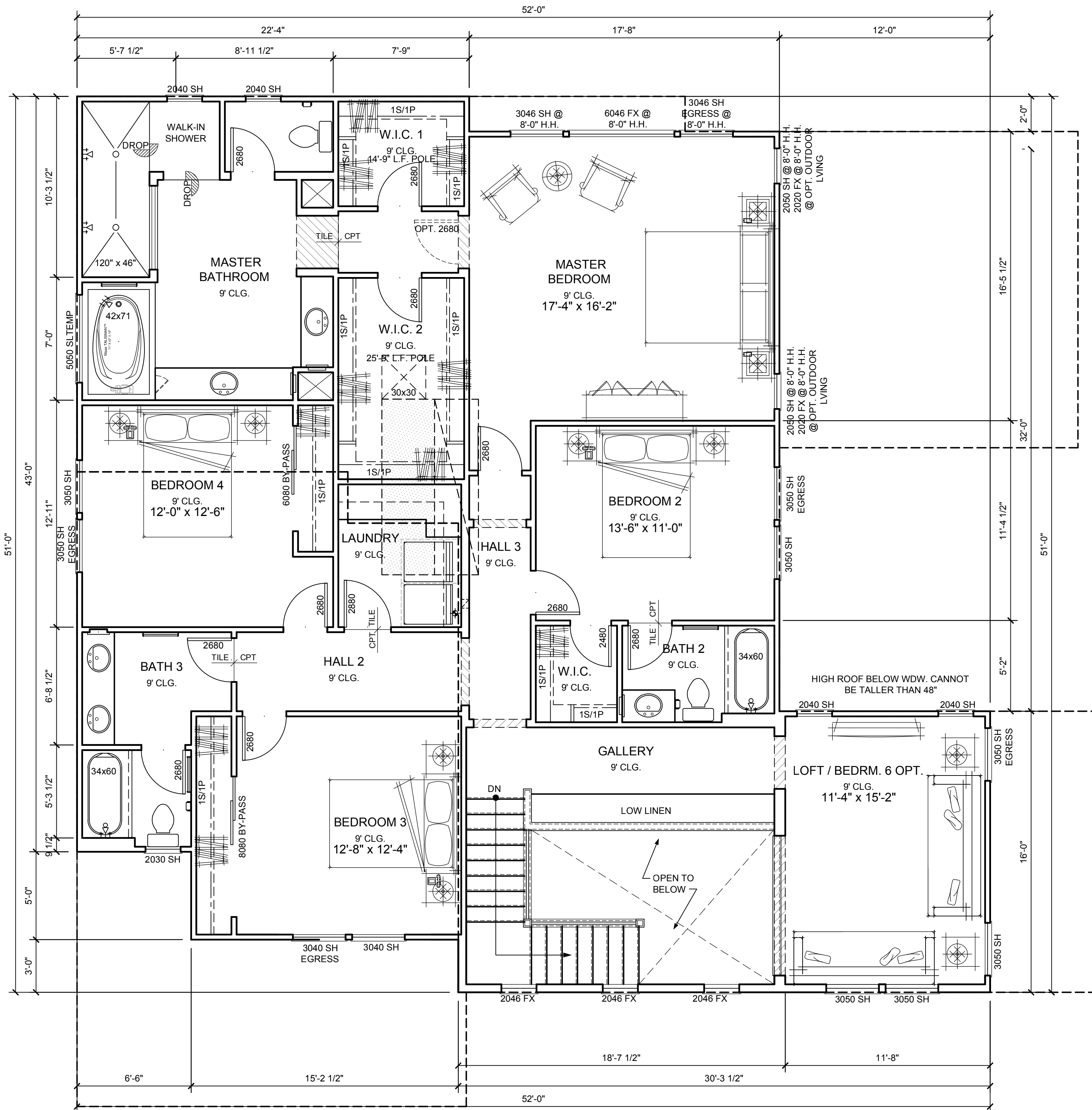


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

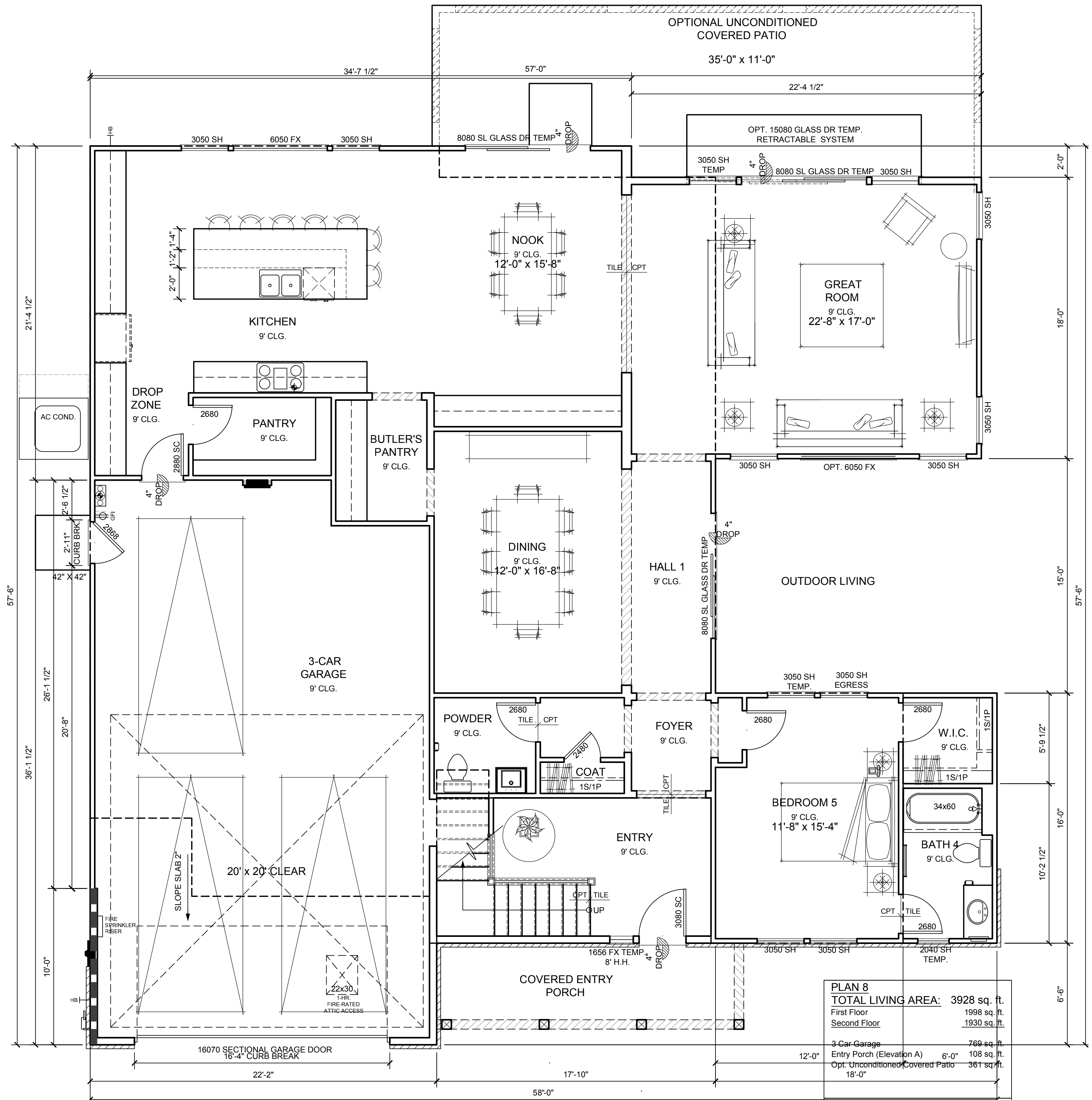
JOB NO. 360.047

DATE: Residential Planned Development Review 08-29-2014

A8.0



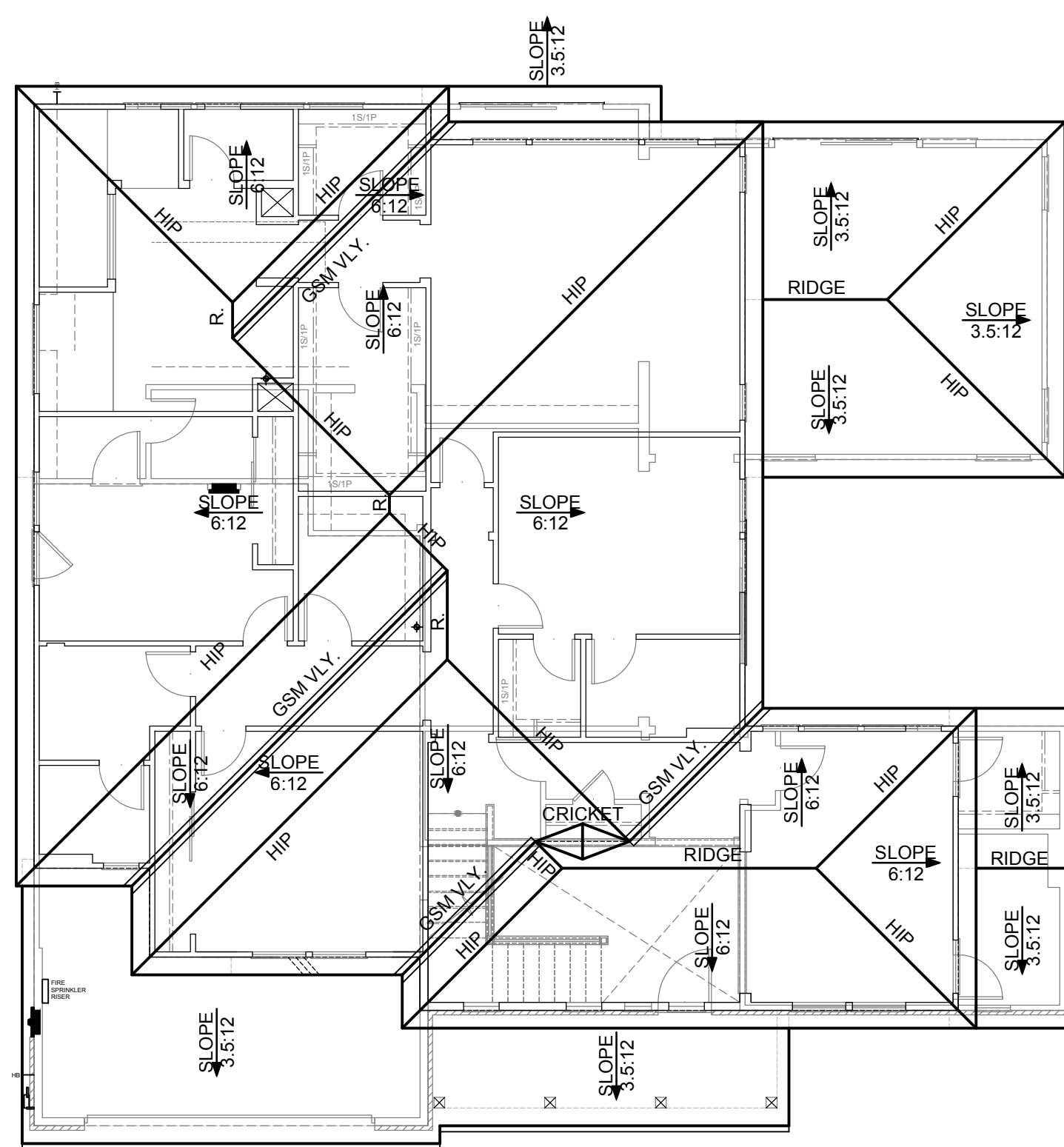
PLAN 8 SECOND FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



PLAN 8 FIRST FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

PLAN 8	
TOTAL LIVING AREA: 3928 sq. ft.	
First Floor	1998 sq. ft.
Second Floor	1930 sq. ft.
3-Car Garage	769 sq. ft.
Entry Porch (Elevation A)	6'-0" 108 sq. ft.
Opt. Unconditioned Covered Patio	361 sq. ft.
5 BR, 4.5 BA	
2nd Flr. Bedrm. 6 Option	
Master Closet Pole: 40'-6"	
Floor Plan Options Do Not Increase Floor Plan Square Footage	

- A - FRENCH**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - 8" EXPOSURE, HORIZONTAL LAP PATTERN SIDING
 - BRICK MASONRY VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO or FOAM SHAPE AT WINDOW & DOOR SURROUNDS AT STUCCO
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- POTSHELF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN



**PLAN 8 ROOF PLAN
ELEVATION A, FRENCH**
SCALE: 1/8" = 1'-0"



PLAN 8 FRONT ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



PLAN 8 RIGHT SIDE ELEVATION A, FRENCH



PLAN 8 REAR ELEVATION A, FRENCH



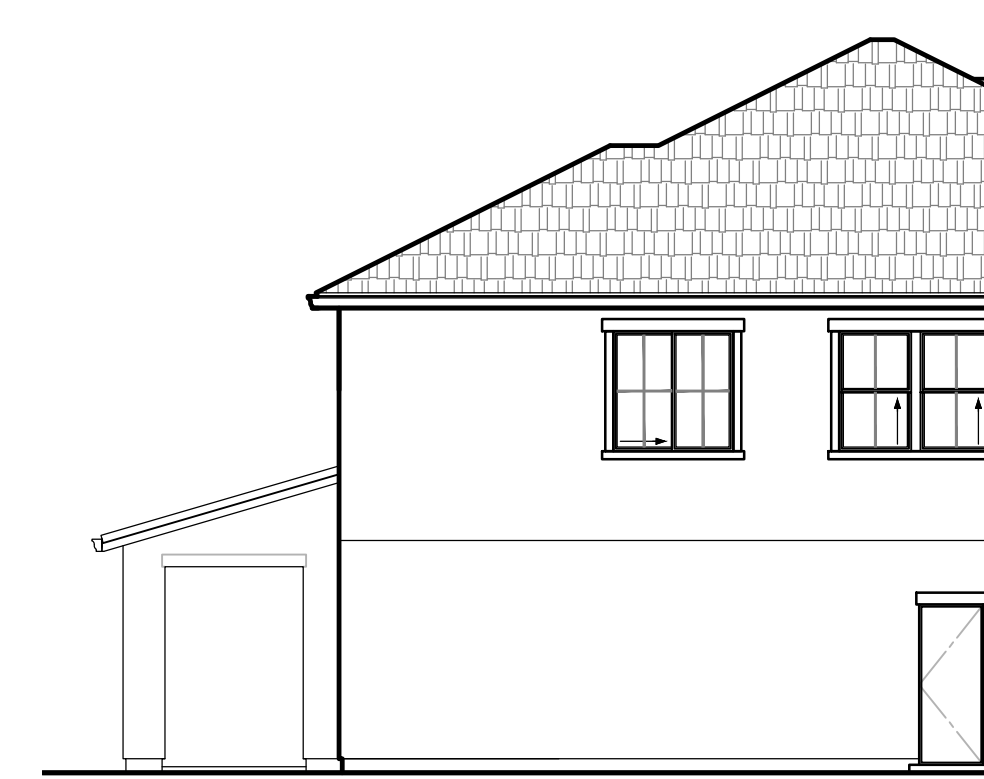
PLAN 8 LEFT SIDE ELEVATION A, FRENCH



**PLAN 8 RIGHT ELEV. A, FRENCH
OPTIONAL COVERED OUTDOOR LIVING**
SCALE: 1/4" = 1'-0"



**PLAN 8 REAR ELEVATION A, FRENCH
OPTIONAL COVERED OUTDOOR LIVING**



**PLAN 8 LEFT ELEV. A, FRENCH
OPTIONAL COVERED OUTDOOR LIVING**

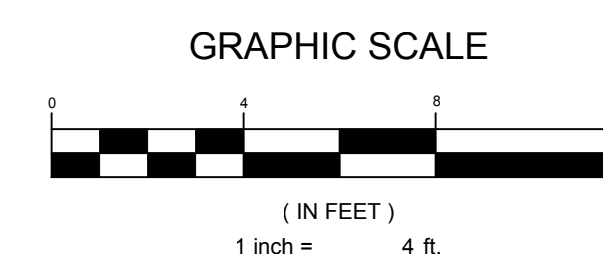
**Plan 8
Elevation A, French
Elevations & Roof Plan**

JOB NO. 360.047

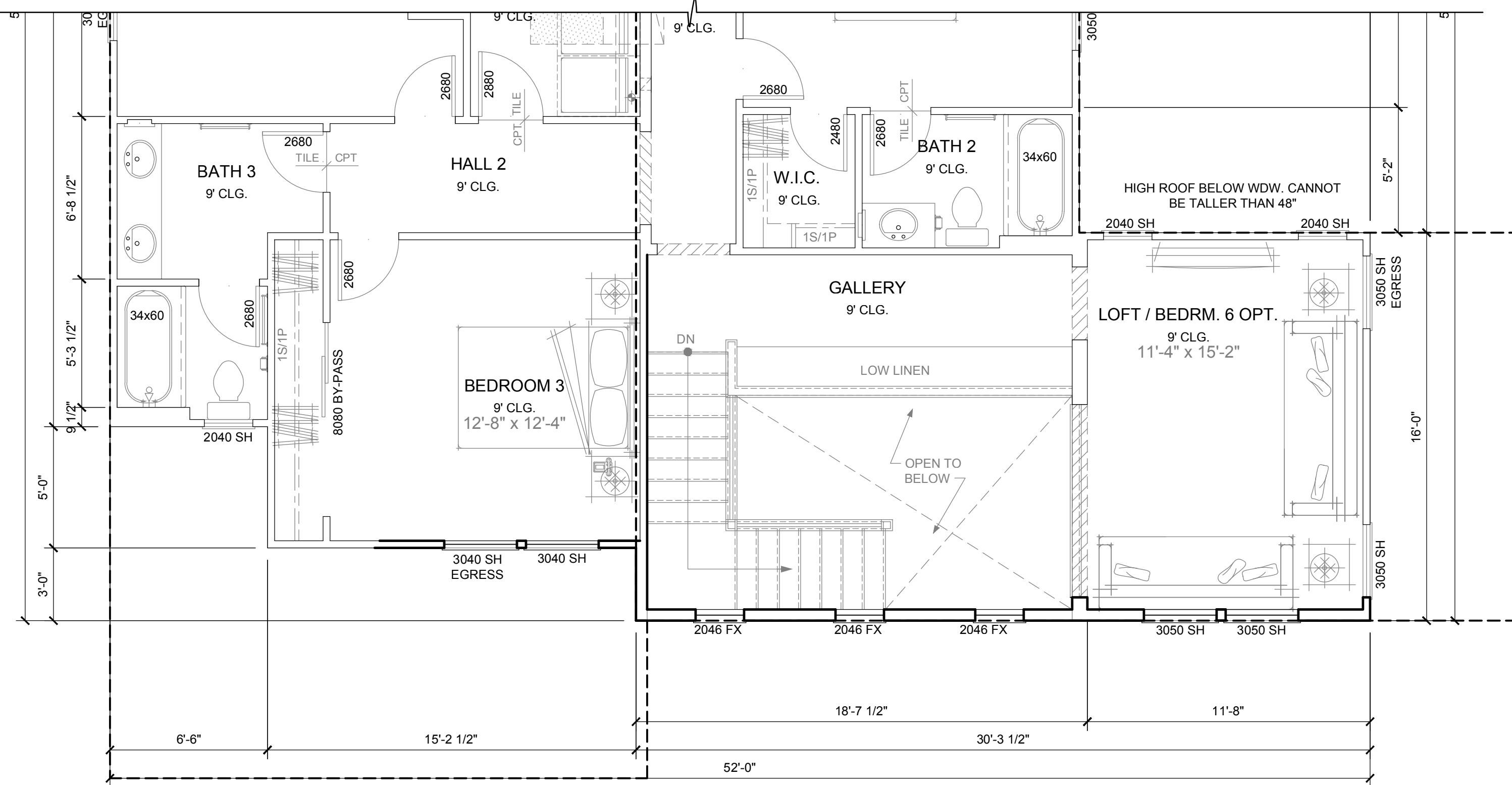
DATE: Residential Planned Development Review 08-29-2014

A8.2

LANTANA
for STANDARD PACIFIC HOMES

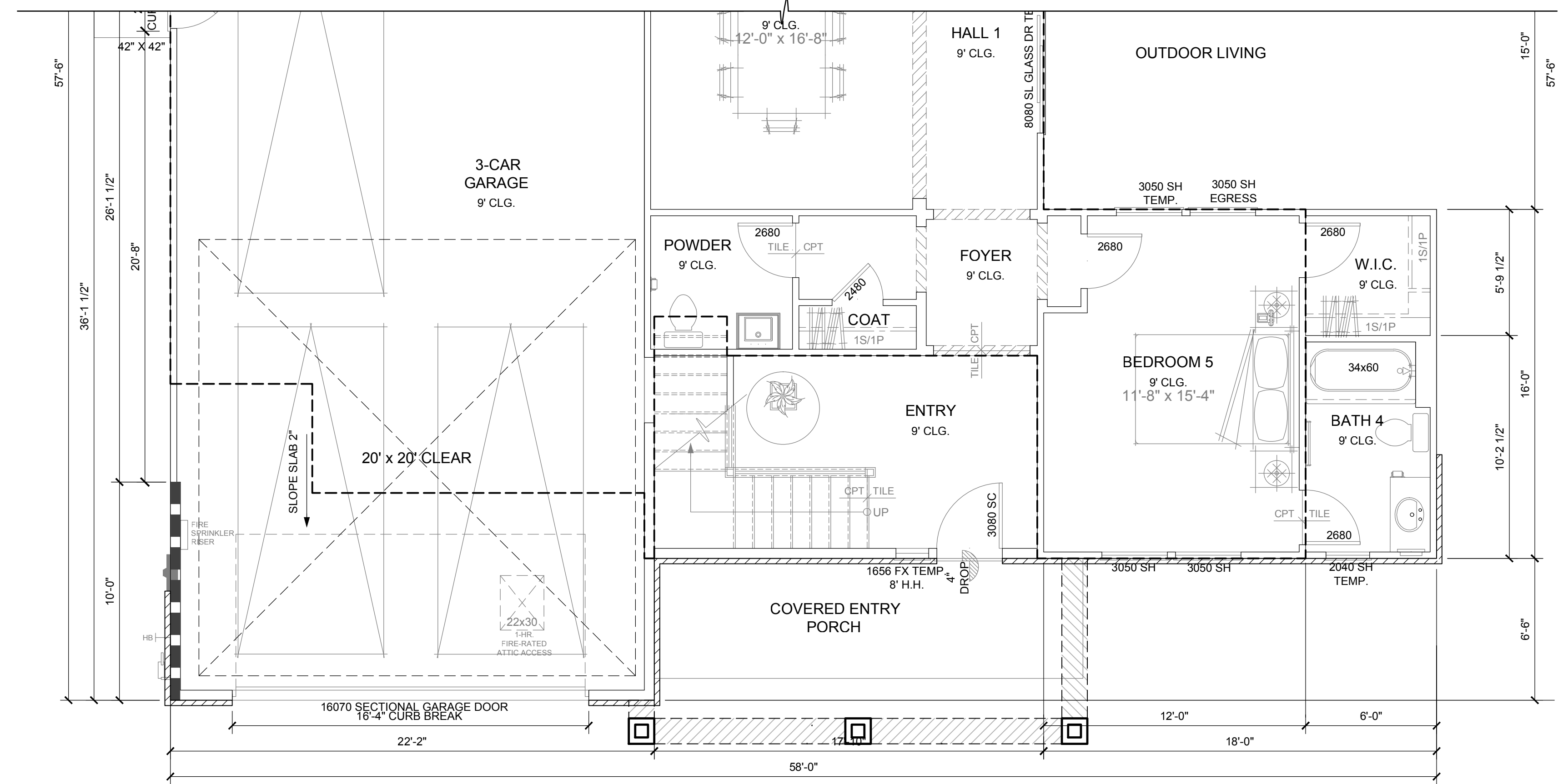


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200



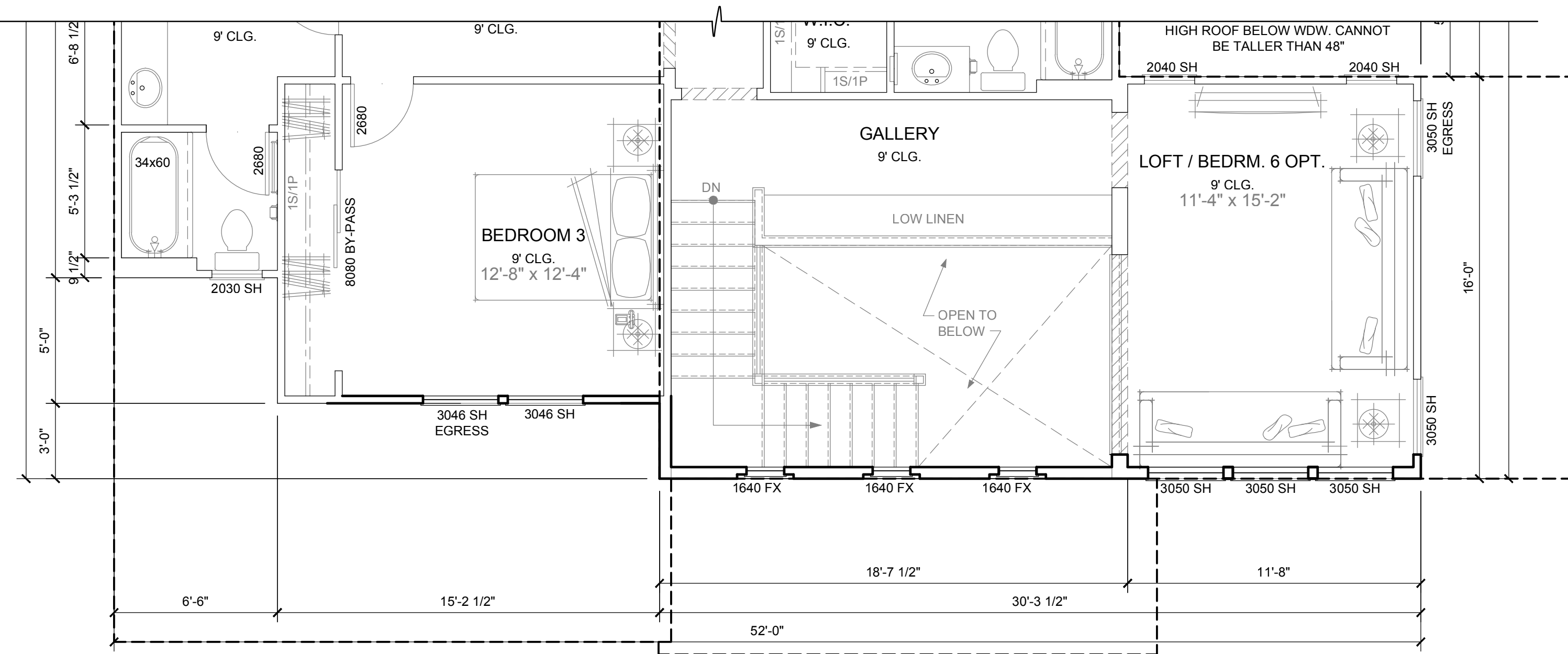
PLAN 8 SECOND FLOOR PLAN, ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"



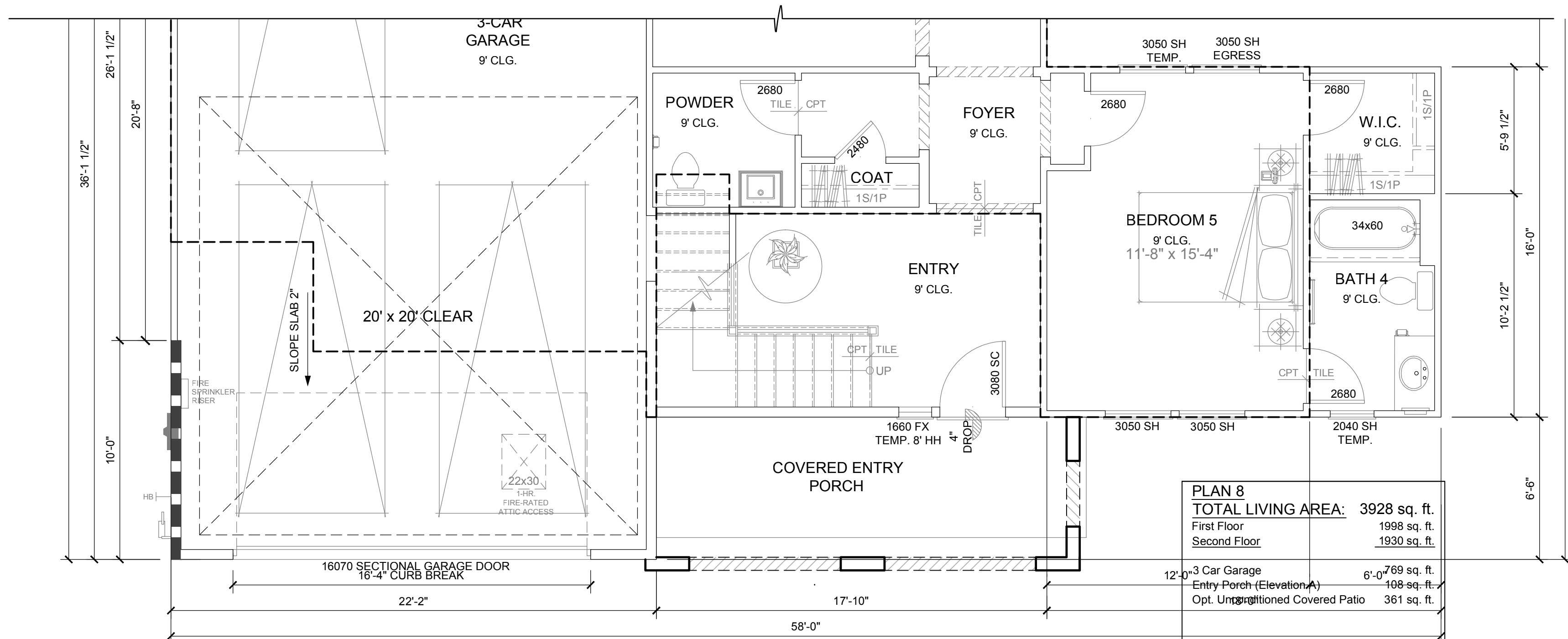
PLAN 8 FIRST FLOOR PLAN, ELEVATION C, CRAFTSMAN

SCALE: 1/4" = 1'-0"



PLAN 8 SECOND FLOOR PLAN, ELEVATION B, SPANISH

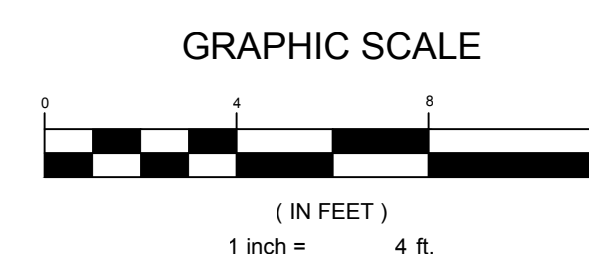
SCALE: 1/4" = 1'-0"



PLAN 8 FIRST FLOOR PLAN, ELEVATION B, SPANISH

SCALE: 1/4" = 1'-0"

LANTANA
for STANDARD PACIFIC HOMES



DAHLIN
group

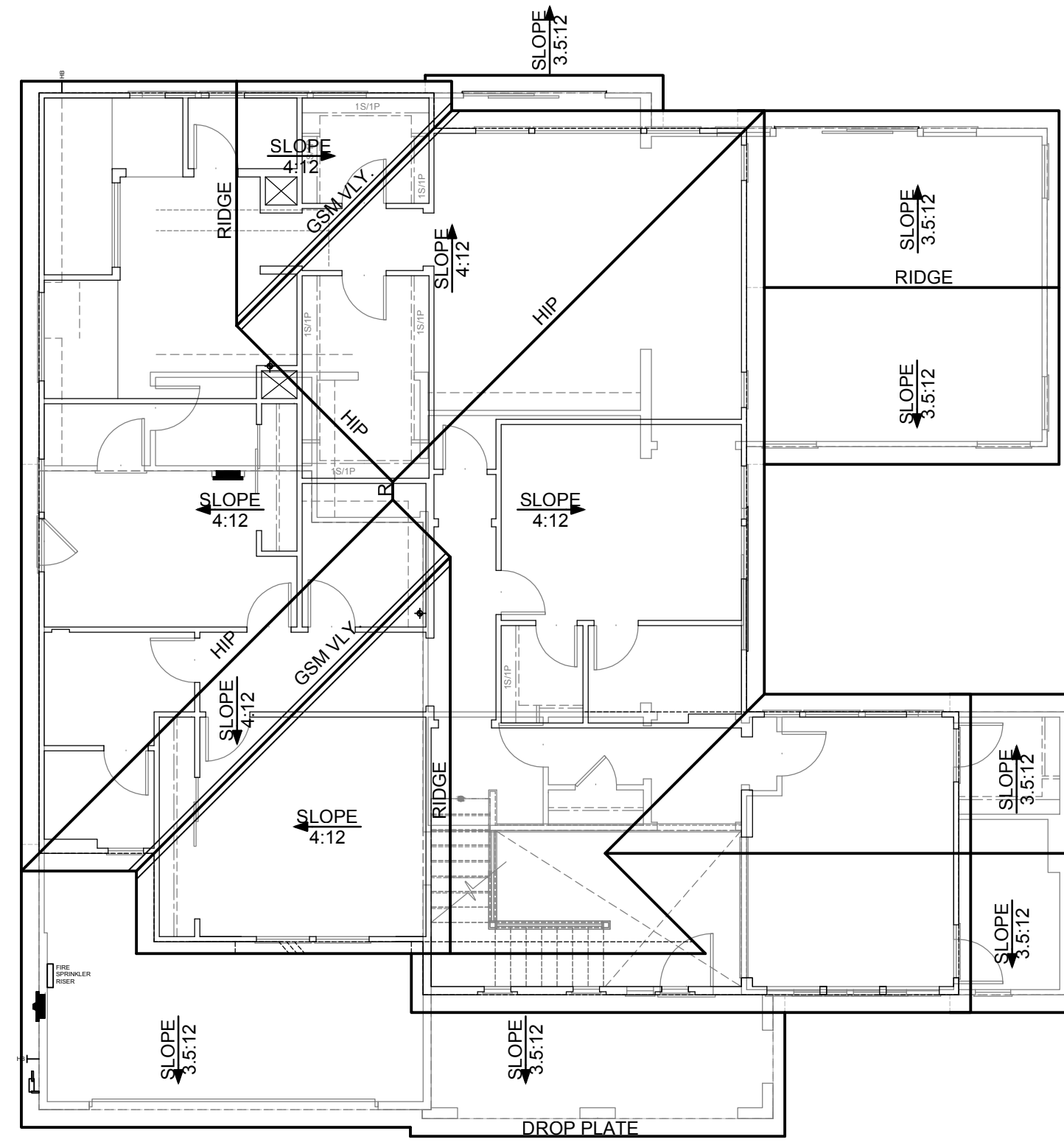
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

Plan 8
Partial
Floor Plans

JOB NO. 360.047

DATE: **A8.3**
Residential Planned Development Review 08-29-2014

- B - SPANISH**
- ROOF MATERIAL:**
- CONCRETE 'S' TILE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO of FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - WOOD GRAIN TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- CERAMIC ACCENT TILES
 - DECORATIVE GABLE END ACCENTS
 - "WROUGHT IRON" ACCENTS



PLAN 8 ROOF PLAN
ELEVATION B, SPANISH
 SCALE: 1/8" = 1'-0"



PLAN 8 FRONT ELEVATION B, SPANISH
 SCALE: 1/4" = 1'-0"



PLAN 8 RIGHT SIDE ELEVATION B, SPANISH



PLAN 8 REAR ELEVATION B, SPANISH



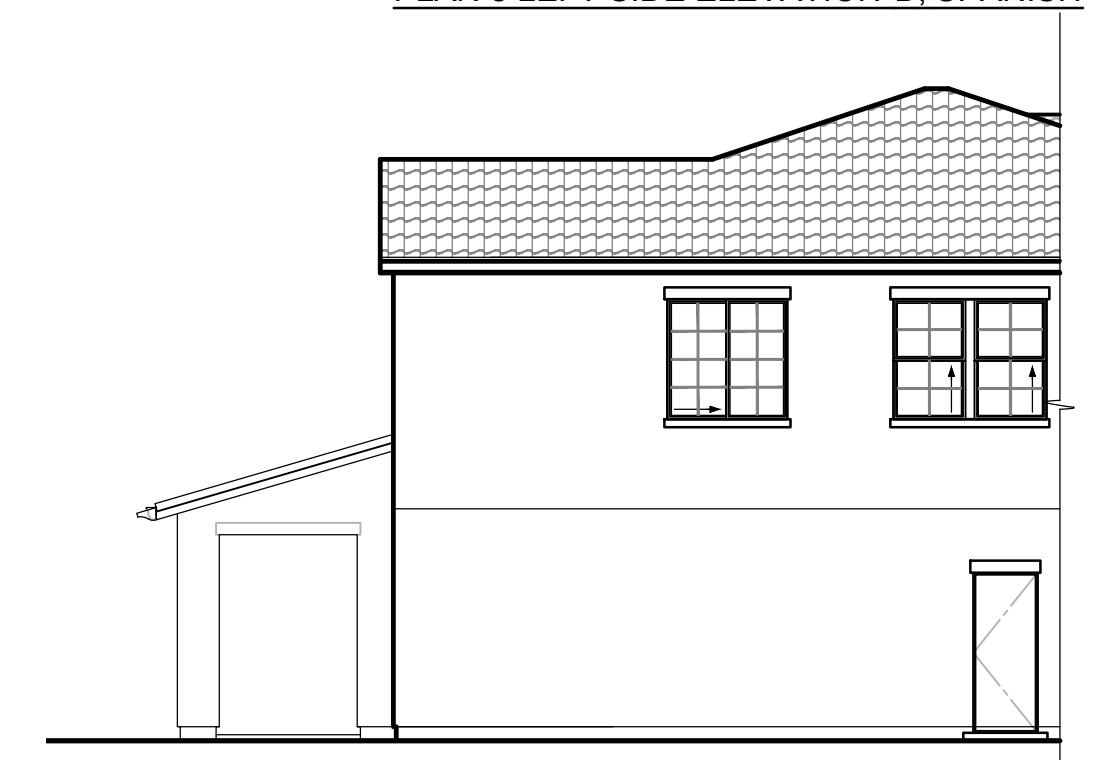
PLAN 8 LEFT SIDE ELEVATION B, SPANISH



PLAN 8 RIGHT ELEV. B, SPANISH
 OPTIONAL COVERED OUTDOOR LIVING



PLAN 8 REAR ELEVATION B, SPANISH
 OPTIONAL COVERED OUTDOOR LIVING



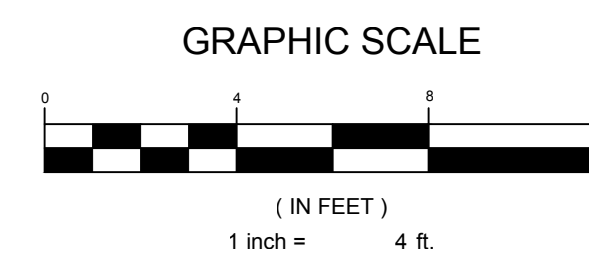
PLAN 8 LEFT ELEV. B, SPANISH
 OPTIONAL COVERED OUTDOOR LIVING

Plan 8
Elevation B, Spanish
Elevations & Roof Plan

JOB NO. 360.047

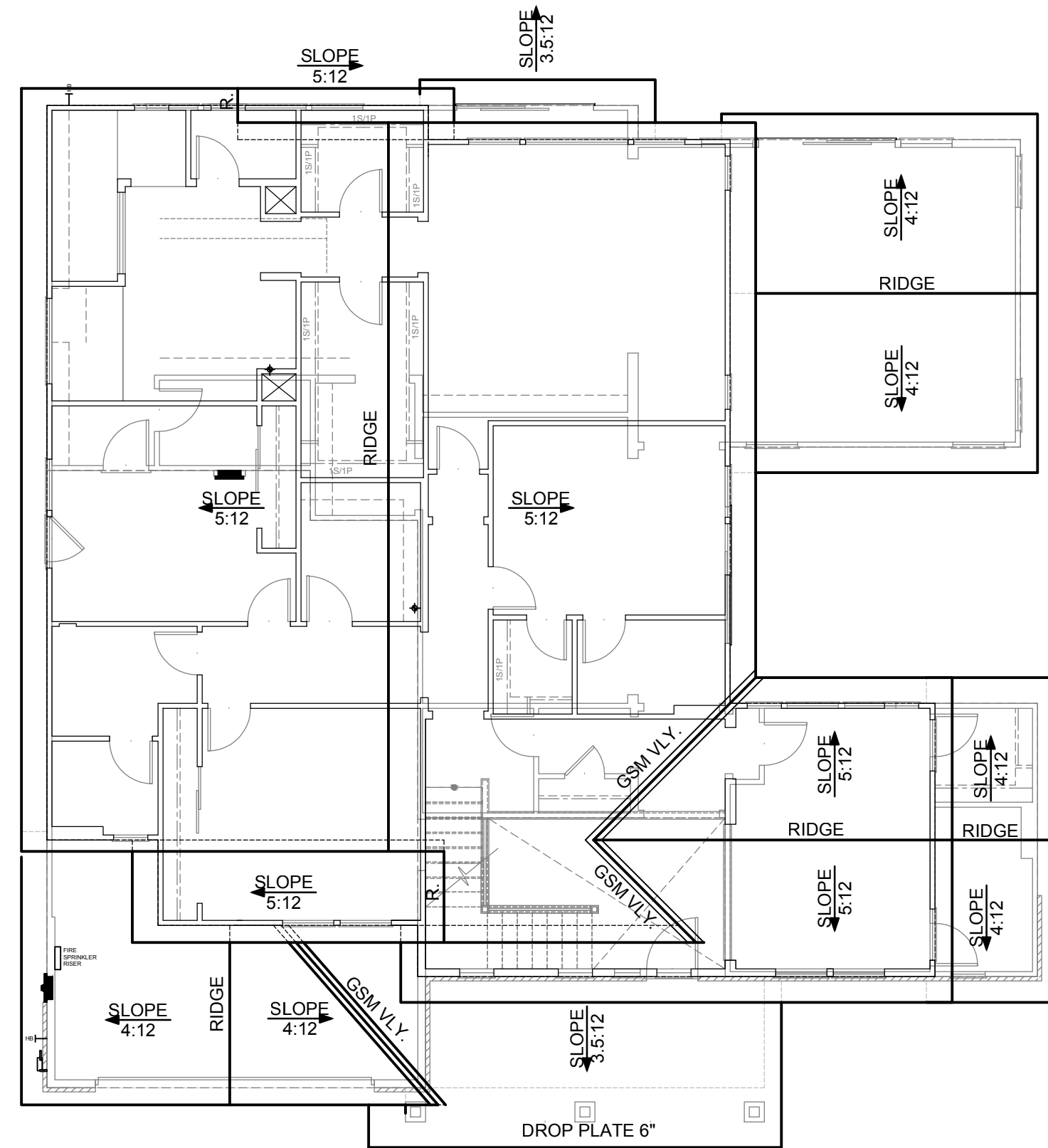
DATE: Residential Planned Development Review 08-29-2014

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A8.4



PLAN 8 ROOF PLAN
ELEVATION C, CRAFTSMAN
 SCALE: 1/8" = 1'-0"



PLAN 8 FRONT ELEVATION C, CRAFTSMAN
 SCALE: 1/4" = 1'-0"

- C - CRAFTSMAN**
- ROOF MATERIAL:**
- COMPOSITION SHINGLE ROOFING
- EXTERIOR FINISHES:**
- STUCCO FINISH
 - MANUFACTURED STONE VENEER
- WINDOWS & DOORS:**
- SIMULATED WOOD FRONT DOORS
 - VINYL FRAME WINDOWS
 - FINISH COAT STUCCO OF FOAM SHAPE AT WINDOW & DOOR SURROUNDS
 - SMOOTH TEXTURE SHUTTERS
 - ALUMINUM SECTIONAL GARAGE DOORS
- TRIM/ACCENT:**
- 1X3, VERTICAL BATTENS, @ 16" O.C. OVER SMOOTH PANEL SIDING
 - LOUVERED, GSM GABLE END VENT
 - POTSELFF - WOOD GRAIN TEXTURE STUCCO OVER FOAM SHAPE
- PORCH:**
- SMOOTH STEEL TROWEL STUCCO FINISH AT COLUMN WITH MANUFACTURED STONE BASE AND THIN BRICK WATER-TABLE



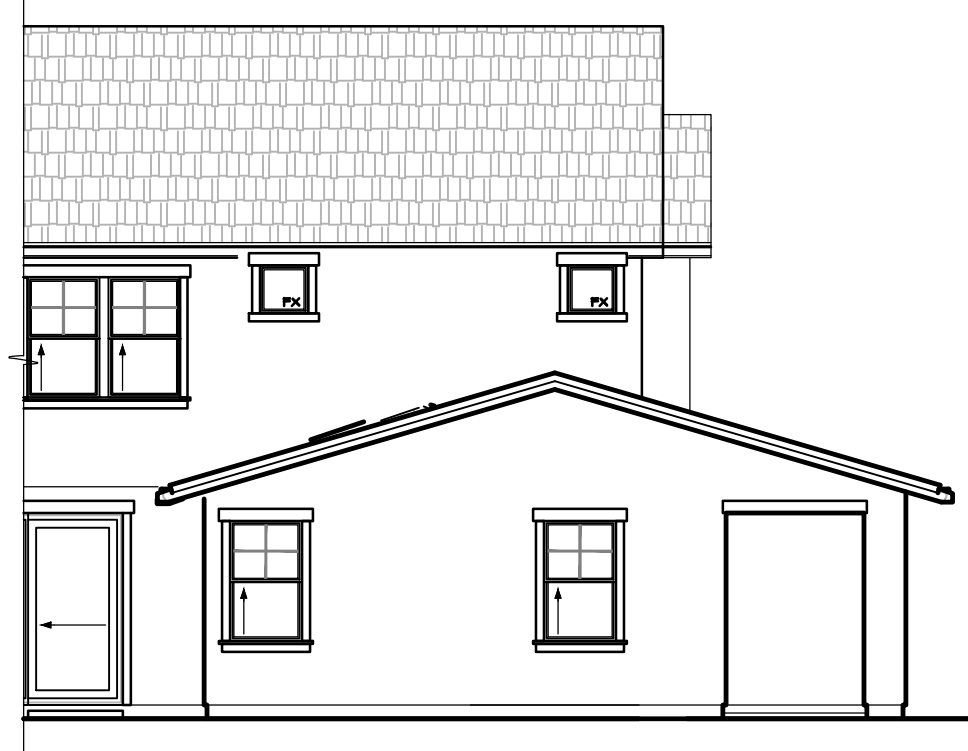
PLAN 8 RIGHT SIDE ELEVATION C, CRAFTSMAN



PLAN 8 REAR ELEVATION C, CRAFTSMAN



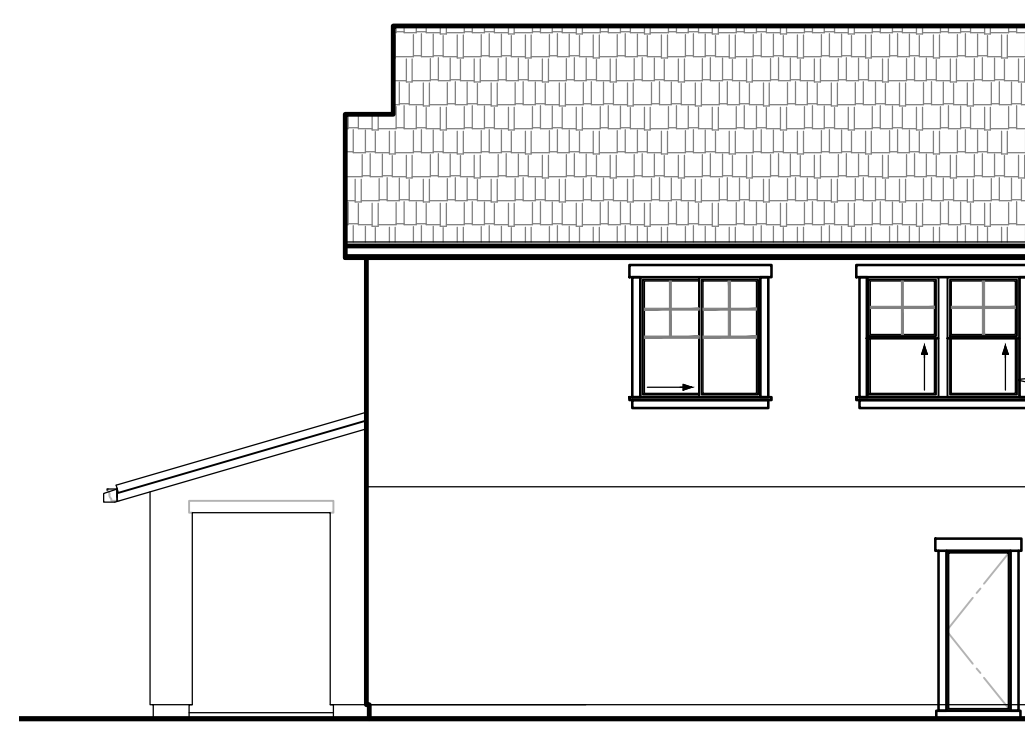
PLAN 8 LEFT SIDE ELEVATION C, CRAFTSMAN



PLAN 8 RIGHT ELEV. C, CRAFTSMAN
 OPTIONAL COVERED OUTDOOR LIVING



PLAN 8 REAR ELEVATION C, CRAFTSMAN
 OPTIONAL COVERED OUTDOOR LIVING



PLAN 8 LEFT ELEV. C, CRAFTSMAN
 OPTIONAL COVERED OUTDOOR LIVING

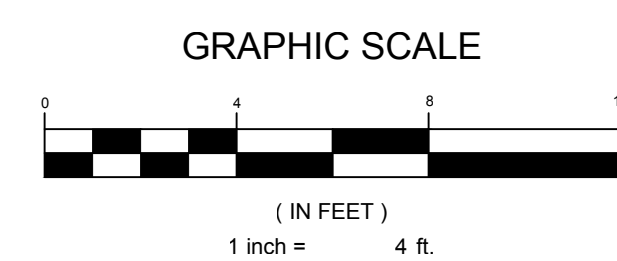
Plan 8
Elevation C, Craftsman
Elevations & Roof Plan

JOB NO. 360.047

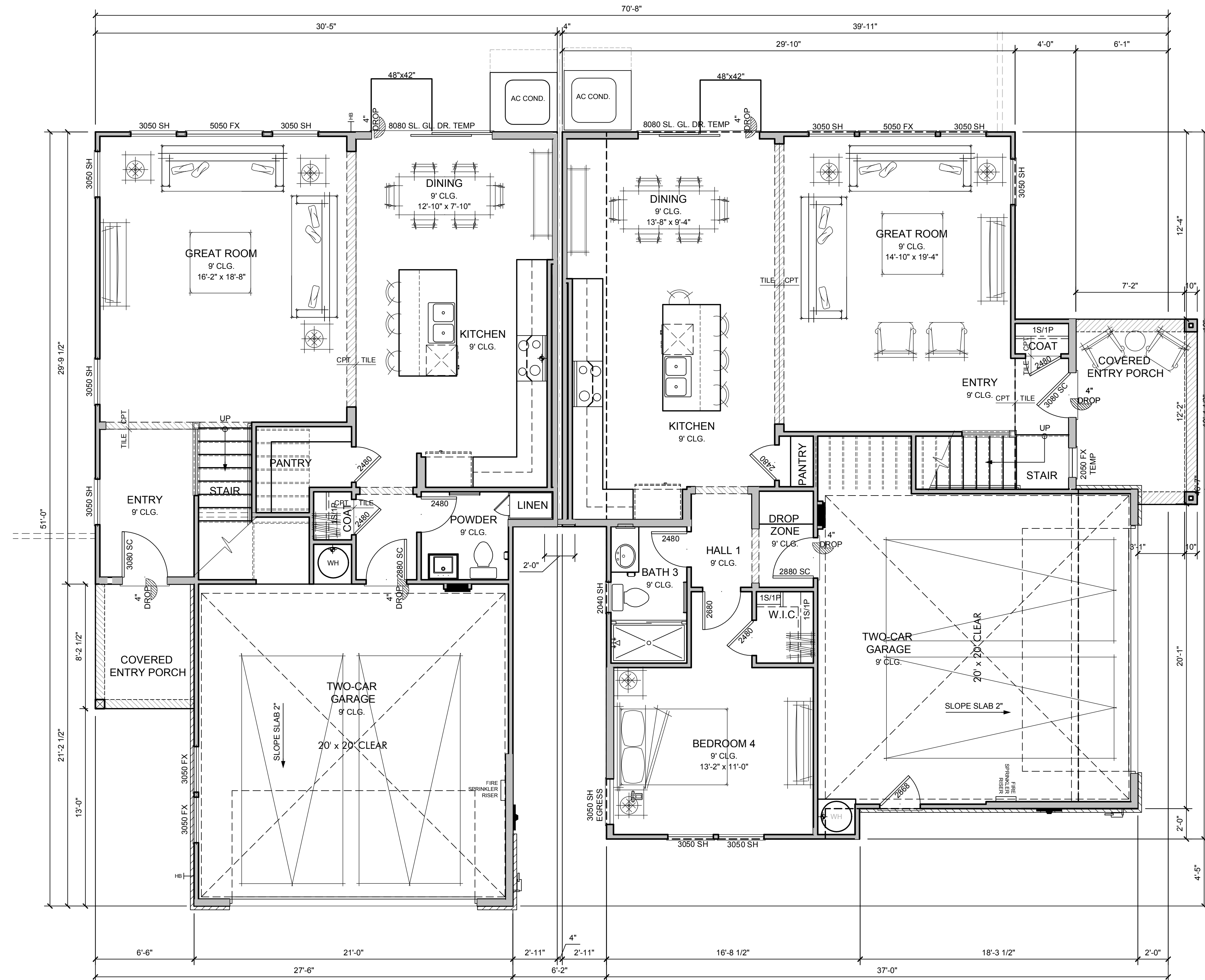
DATE: Residential Planned Development Review 08-29-2014

A8.5

LANTANA
 for STANDARD PACIFIC HOMES



5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200



PLAN 1X
FIRST FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

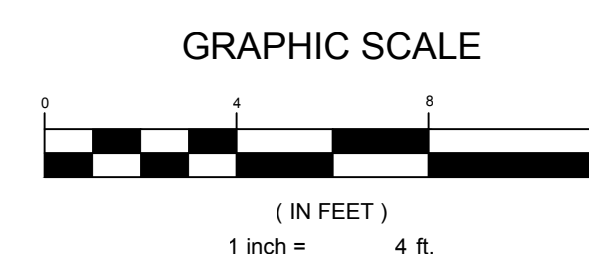
PLAN 2X
FIRST FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

BUILDING 1 / 2, FIRST FLOOR PLAN, ELEVATION A, FRENCH

PLAN 1	
TOTAL LIVING AREA:	2082 sq. ft.
First Floor	889 sq. ft.
Second Floor	1193 sq. ft.
2 Car Garage	452 sq. ft.
Entry Porch (Elevation A)	53 sq. ft.
3 BR, 2.5 BA Master Closet Pole: 28'-9"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	
PLAN 2	
TOTAL LIVING AREA:	2326 sq. ft.
First Floor	1057 sq. ft.
Second Floor	1269 sq. ft.
2 Car Garage	468 sq. ft.
Entry Porch (Elevation A)	70 sq. ft.
4 BR, 3 BA with Loft Master Closet Pole: 25'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

Plan 1X/2X
First Floor Plans

WISTERIA
 for STANDARD PACIFIC HOMES

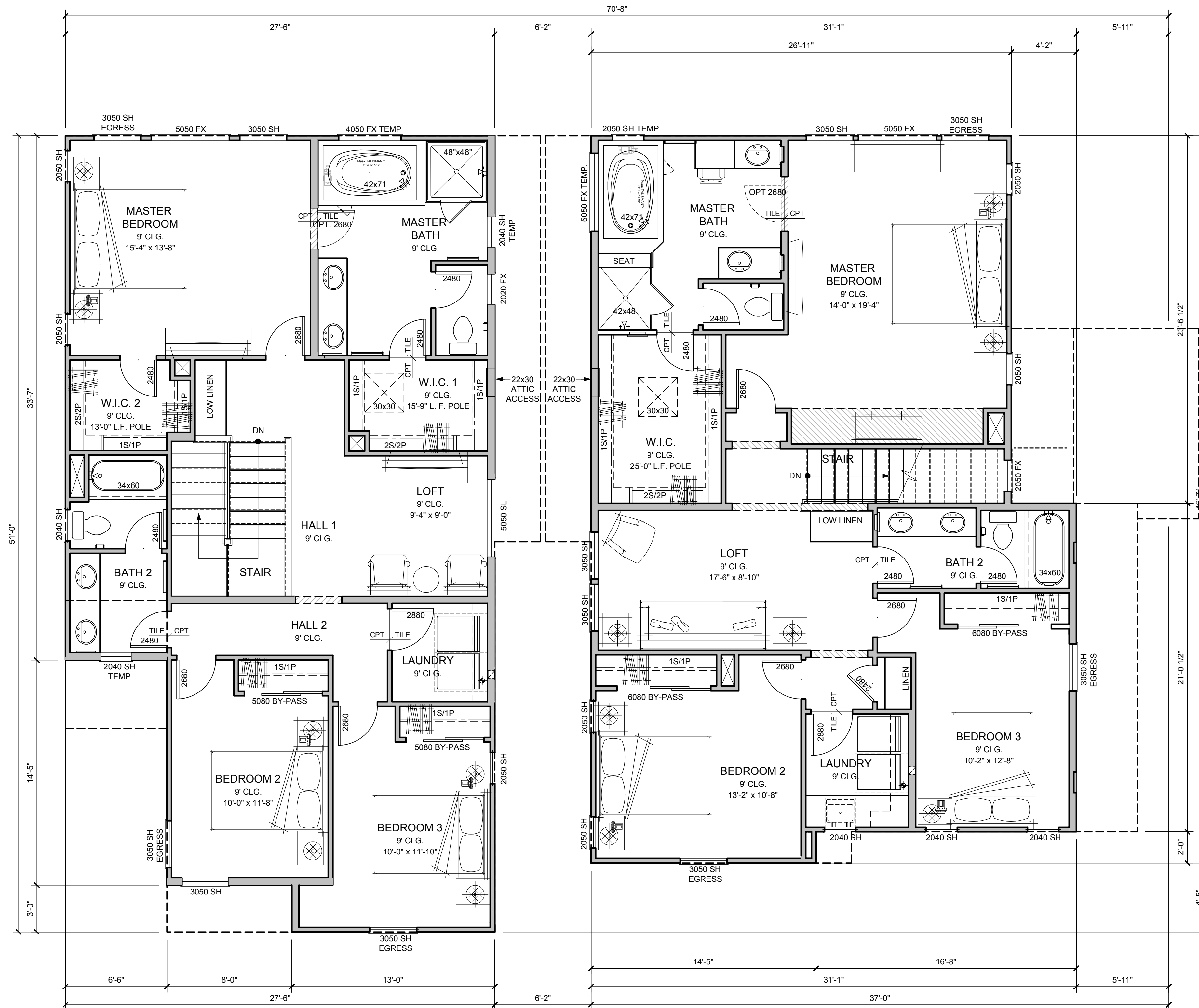


5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

JOB NO. 360.048

04/27/15
 PC Workshop Drawings

DATE: **A1.1**
 Residential Dev. Control System Application 10-01-2014



PLAN 1X
SECOND FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

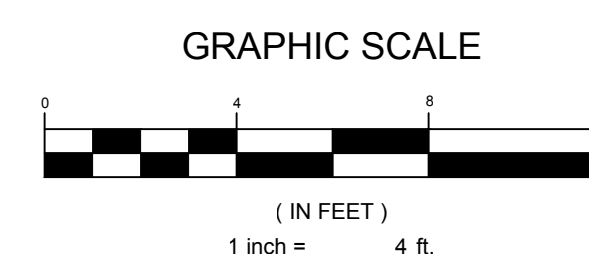
PLAN 2X
SECOND FLOOR PLAN
ELEVATION A, FRENCH
 SCALE: 1/8" = 1'-0"

BUILDING 1 / 2, SECOND FLOOR PLAN, ELEVATION A, FRENCH

PLAN 1	
TOTAL LIVING AREA:	2082 sq. ft.
First Floor	889 sq. ft.
Second Floor	1193 sq. ft.
2 Car Garage	452 sq. ft.
Entry Porch (Elevation A)	53 sq. ft.
3 BR., 2.5 BA. Master Closet Pole: 28'-9"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	
PLAN 2	
TOTAL LIVING AREA:	2326 sq. ft.
First Floor	1057 sq. ft.
Second Floor	1269 sq. ft.
2 Car Garage	468 sq. ft.
Entry Porch (Elevation A)	70 sq. ft.
4 BR., 3 BA with Loft Master Closet Pole: 25'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

Plan 1X/2X
Second Floor Plans

WISTERIA
 for STANDARD PACIFIC HOMES

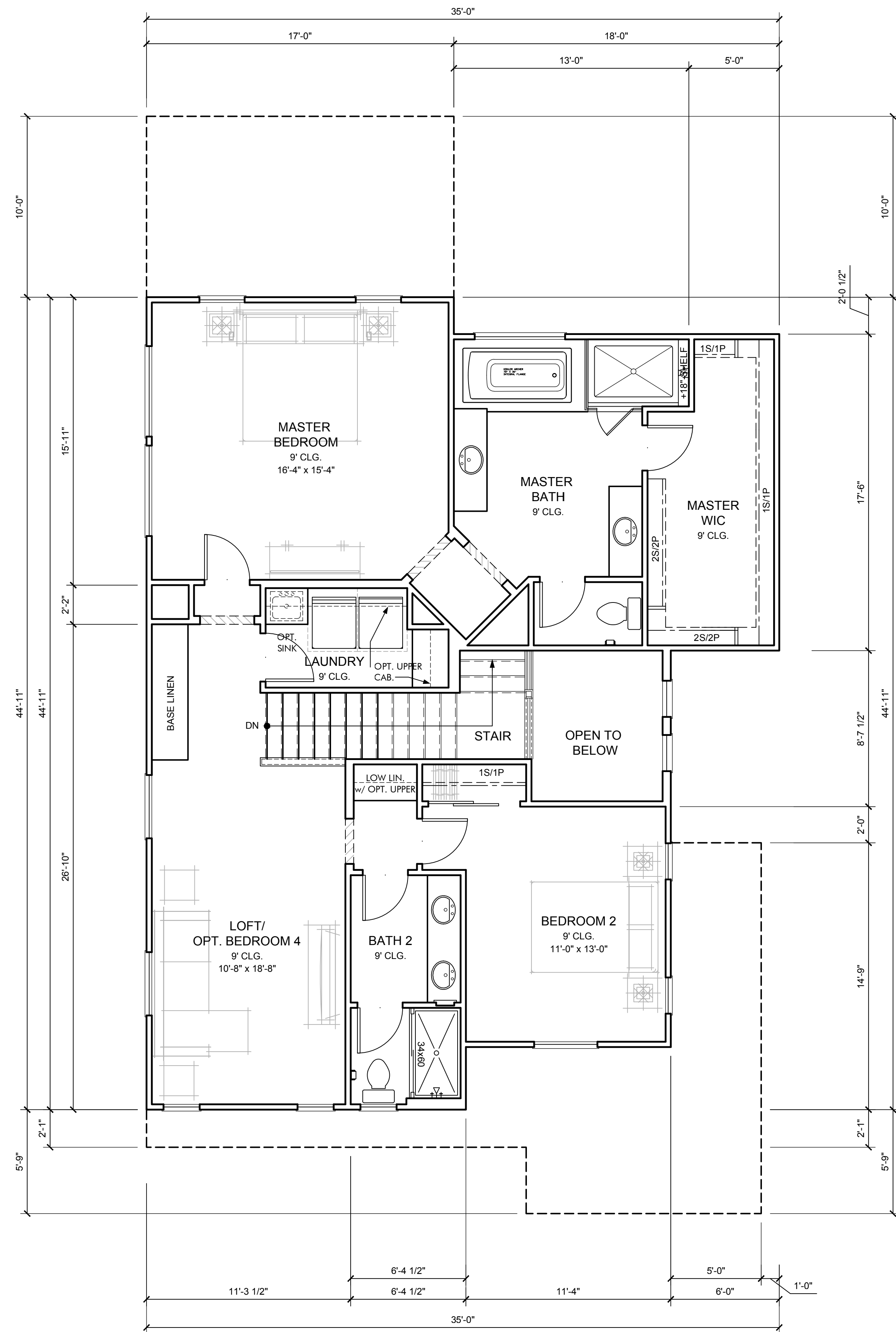


5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

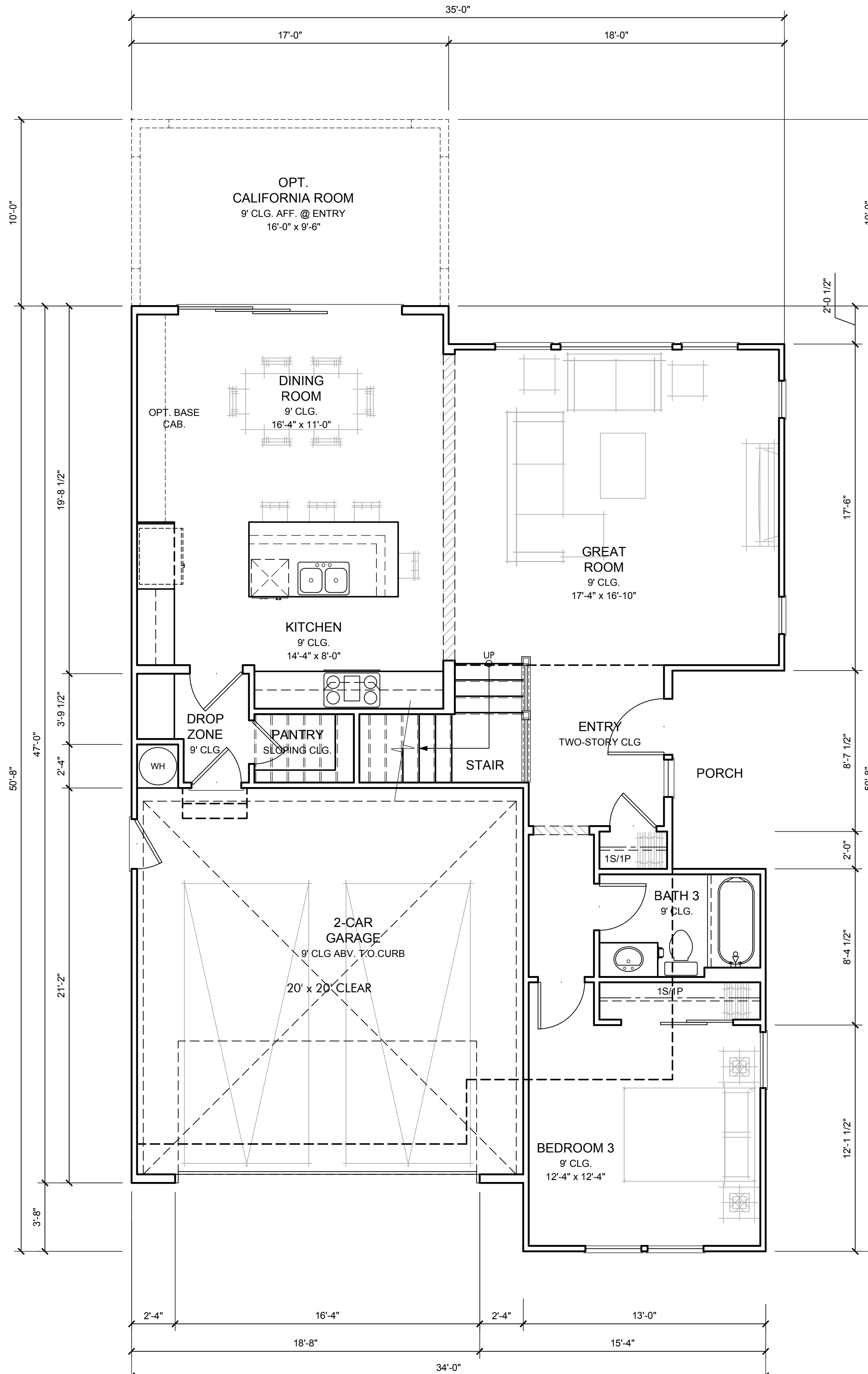
JOB NO. 360.048

04/27/15
 PC Workshop Drawings

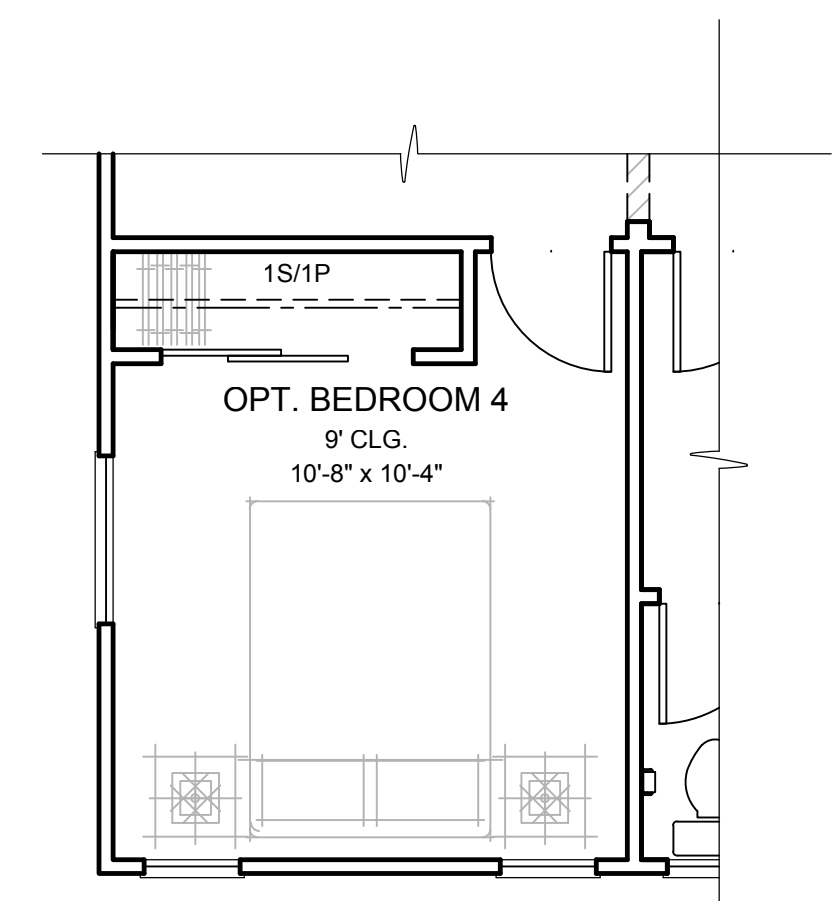
DATE: **A1.2**
 Residential Dev. Control System Application 10-01-2014



PLAN 3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 3 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



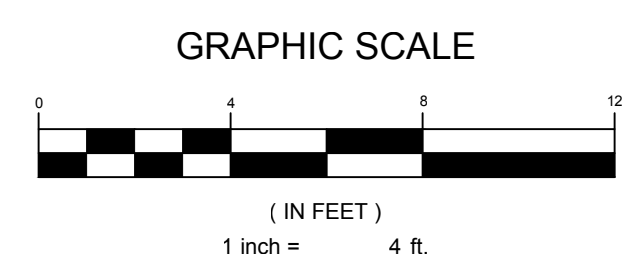
PLAN 3 SECOND FLOOR PLAN
OPT. BEDROOM 4
SCALE: 1/4" = 1'-0"

PLAN 3	
TOTAL LIVING AREA:	2343 sq. ft.
First Floor	1127 sq. ft.
Second Floor	1216 sq. ft.
2 Car Garage:	450 sq. ft.
Elev. A Front Porch	sq.ft.
Elev. B Front Porch	sq.ft.
Elev. C Front Porch	sq.ft.
Opt. California Room	170 sq. ft.

**Plan 3
Floor Plans**

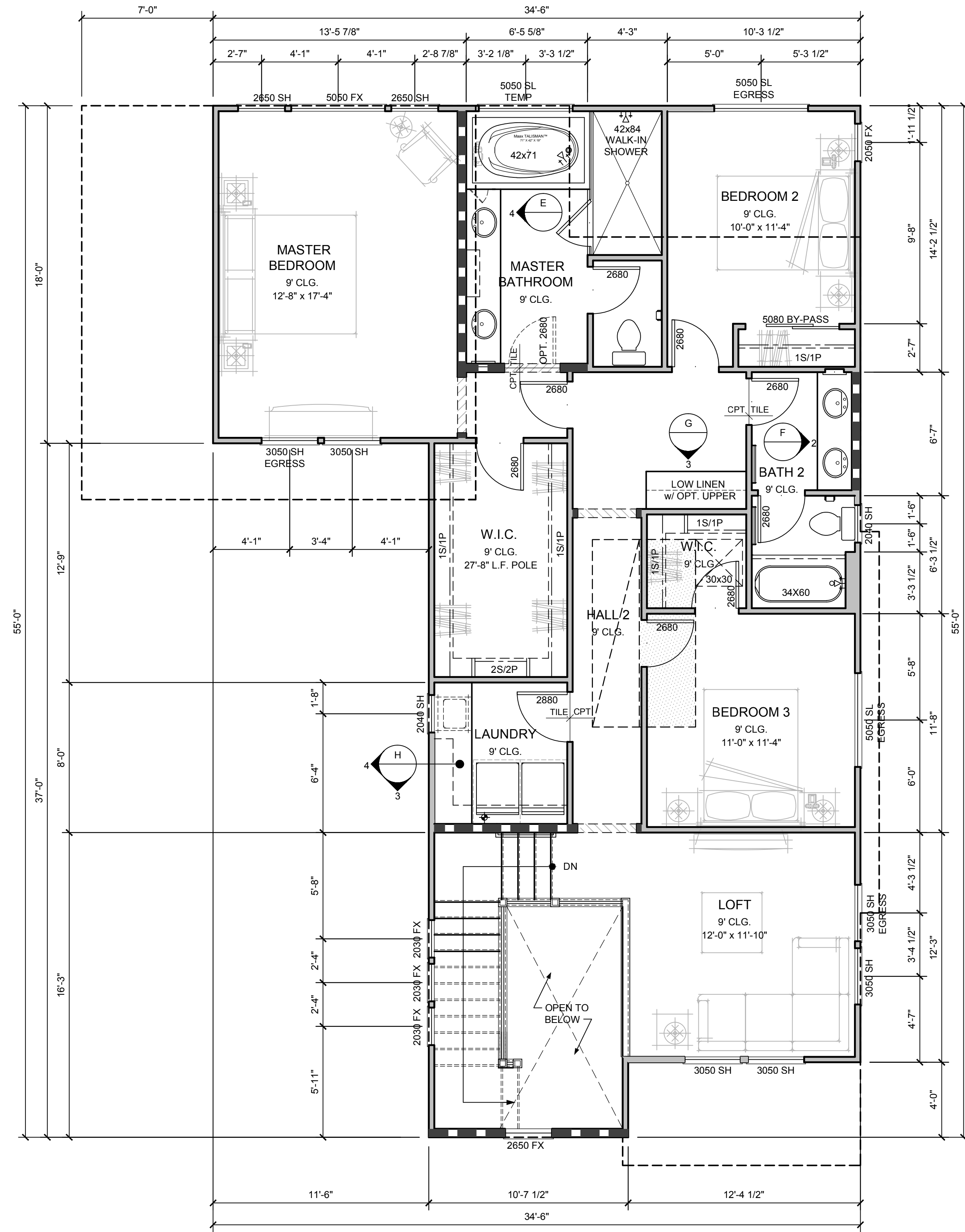
JOB NO. 360.048
04/27/15
PC Workshop Drawings
DATE:
Residential Dev. Control System Application 10-01-2014

WISTERIA
for STANDARD PACIFIC HOMES

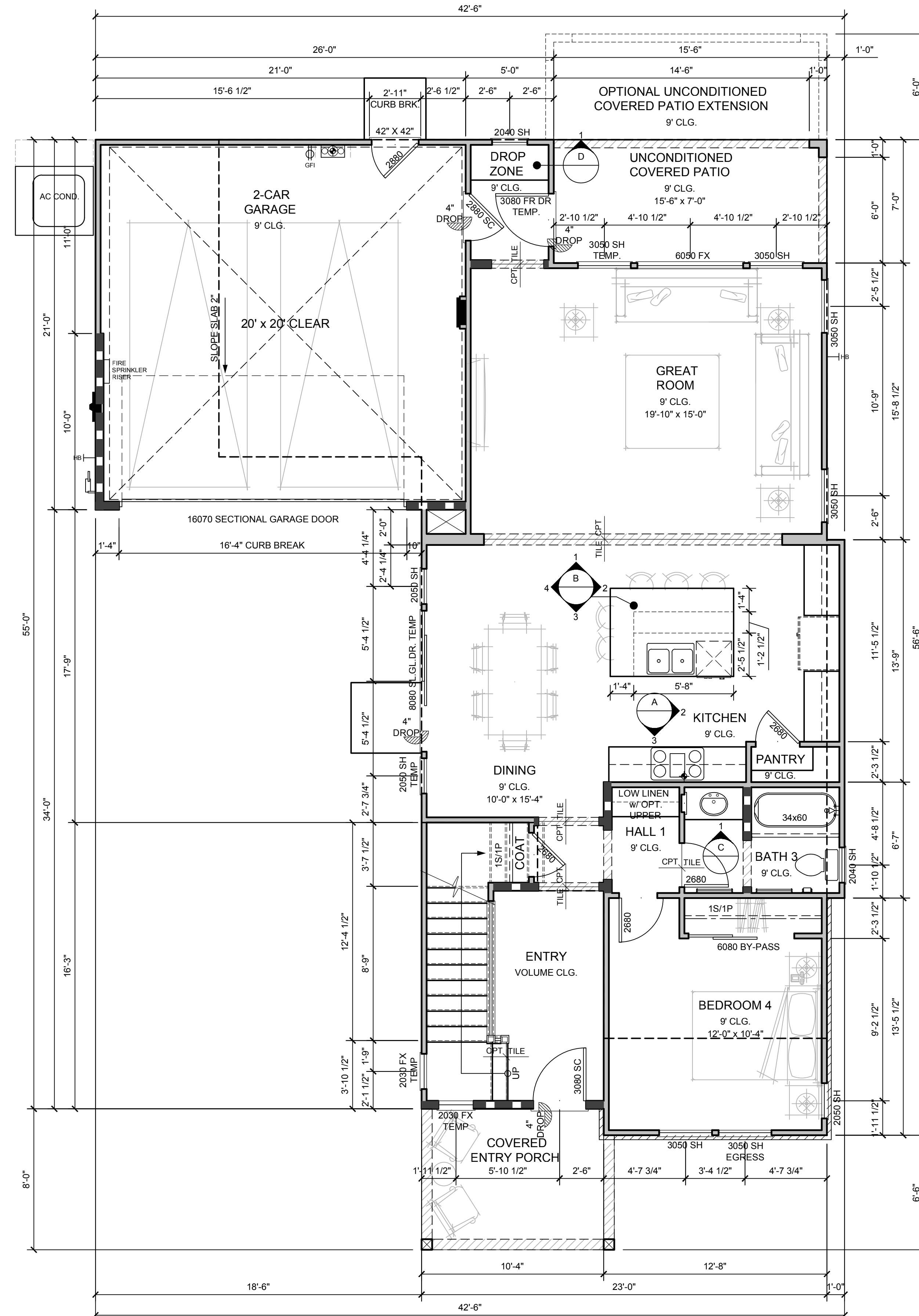


5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A3.1



PLAN 4 SECOND FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

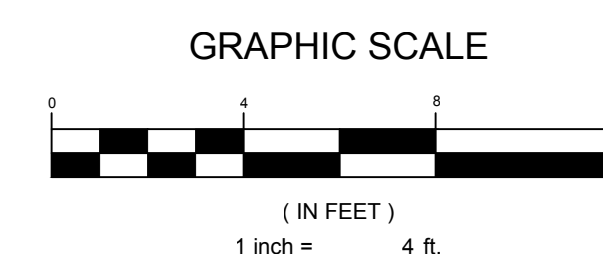


PLAN 4 FIRST FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"

PLAN 4	
TOTAL LIVING AREA:	2408 sq. ft.
First Floor	1140 sq. ft.
Second Floor	1268 sq. ft.
2 Car Garage	441 sq. ft.
Entry Porch (Elevation A)	64 sq. ft.
Unconditioned Covered Patio	108 sq. ft.
Opt. Unconditioned Covered Patio Extension	96 sq. ft.
4 BR, 3 BA with Loft Master Closet Pole: 27'-8"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 4
Floor Plans**

WISTERIA
for STANDARD PACIFIC HOMES



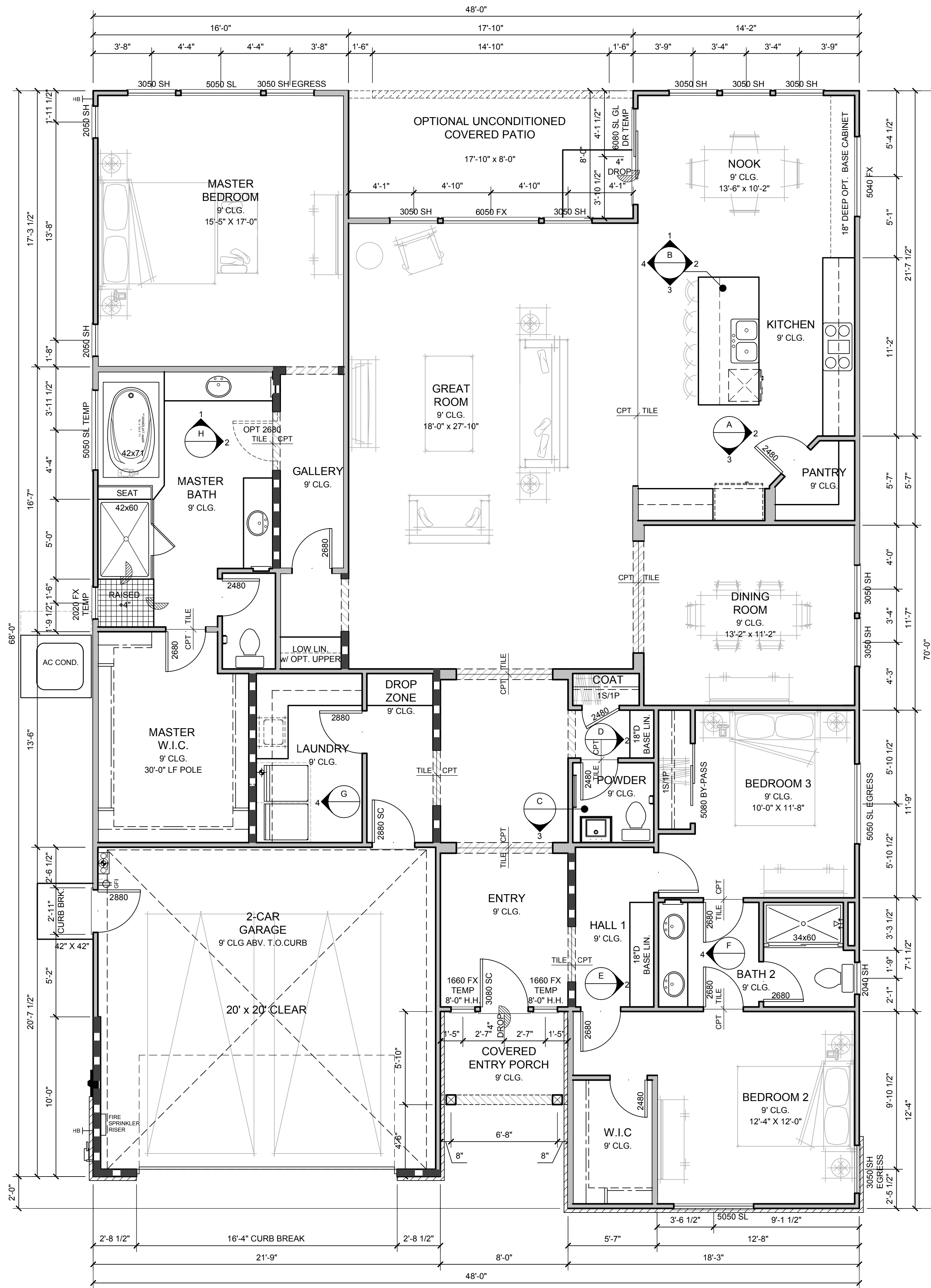
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.048

04/27/15
PC Workshop Drawings

DATE:
Residential Dev. Control System Application 10-01-2014

A4.1

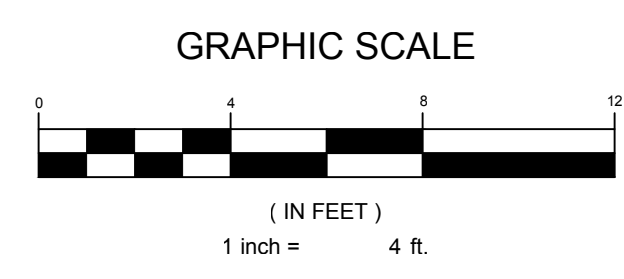


PLAN 5	
TOTAL LIVING AREA:	2630 sq. ft.
First Floor	2630 sq. ft.
2 Car Garage	446 sq. ft.
Entry Porch (Elevation A)	47 sq. ft.
Opt. Unconditioned Covered Patio	143 sq. ft.
3 BR, 2.5 BA	
Master Closet Pole: 30'-0"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 5
Floor Plan**

WISTERIA
for STANDARD PACIFIC HOMES

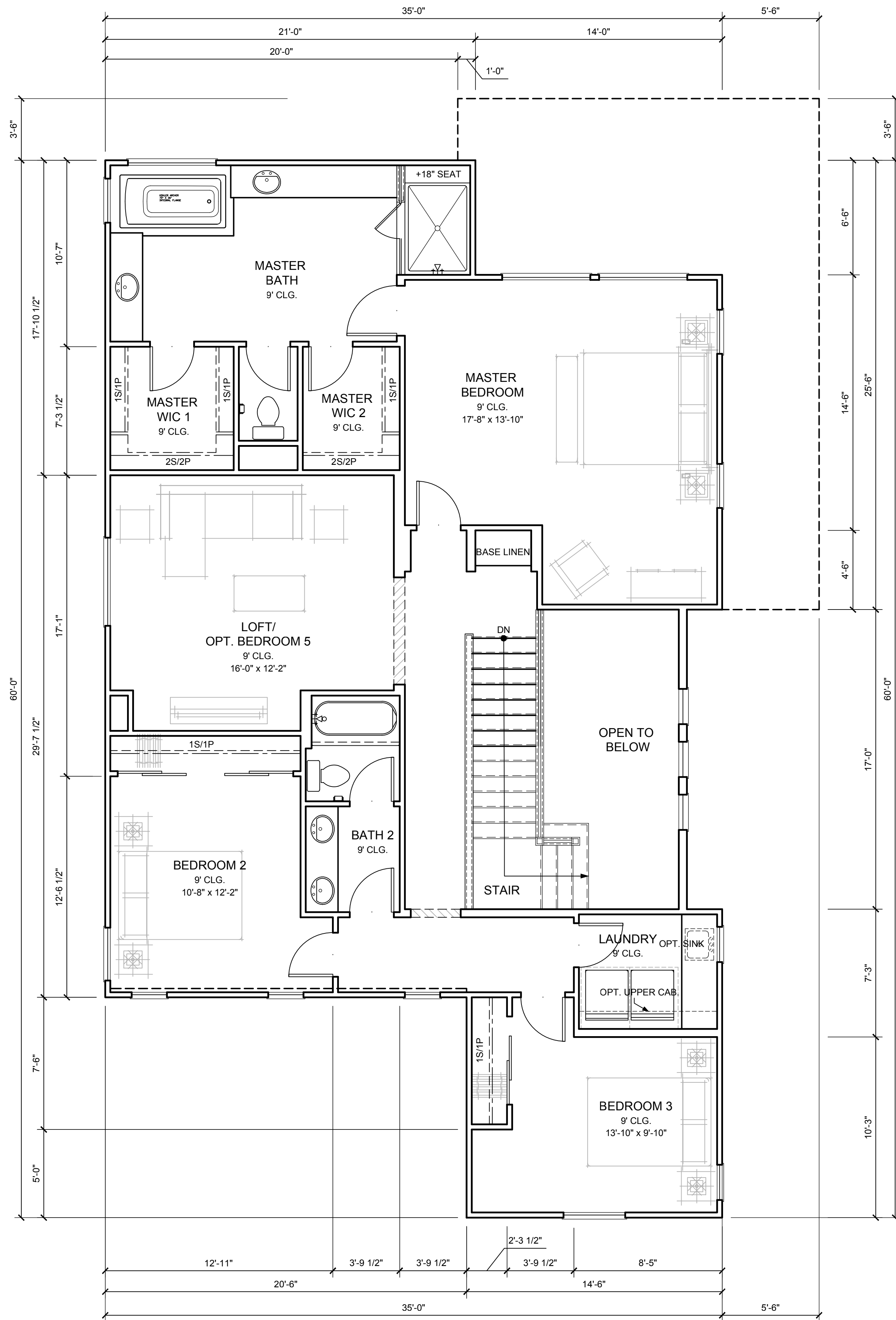
PLAN 5 FIRST FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



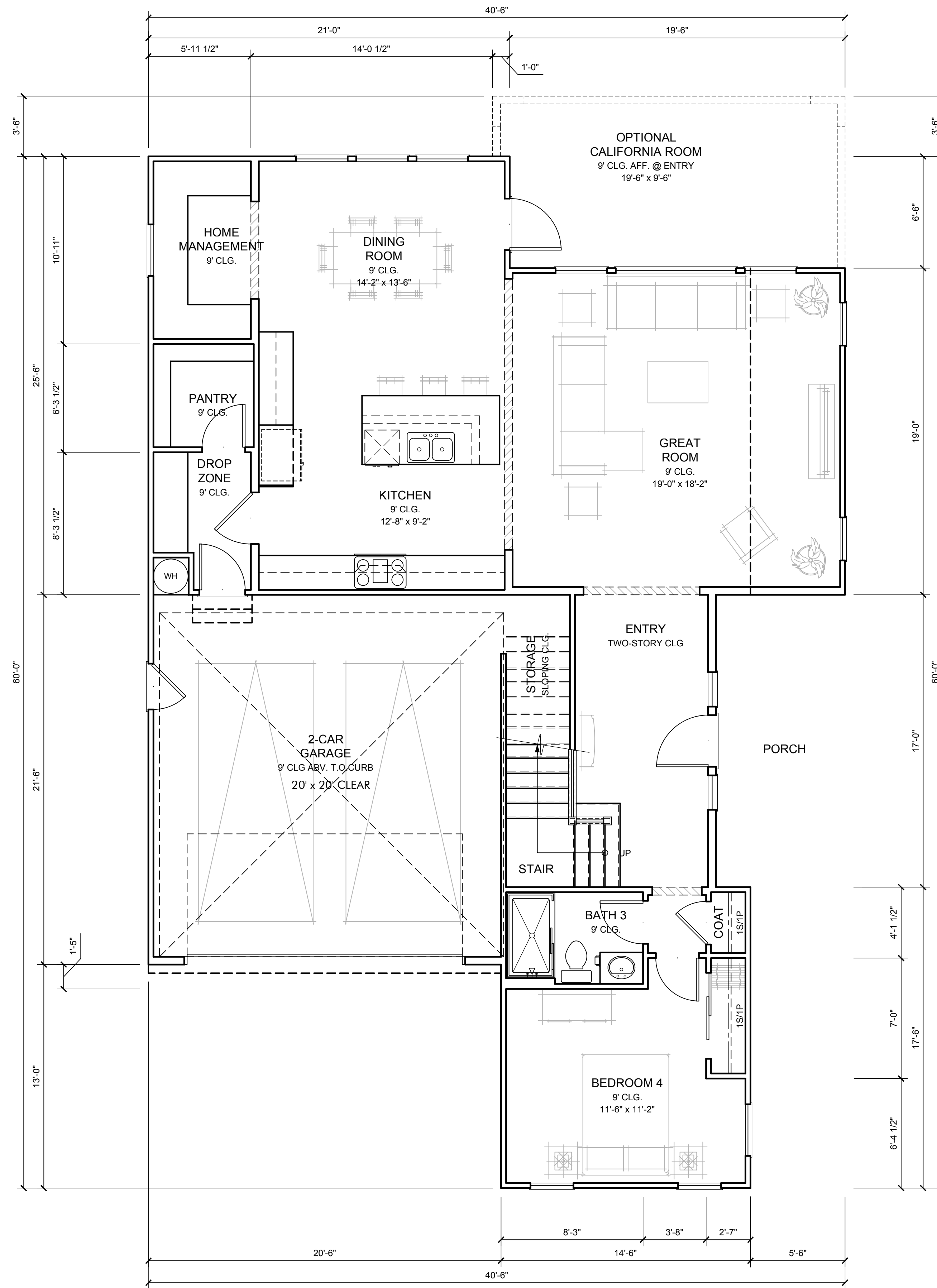
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.048
04/27/15
PC Workshop Drawings
DATE:
Residential Dev. Control System Application 10-01-2014

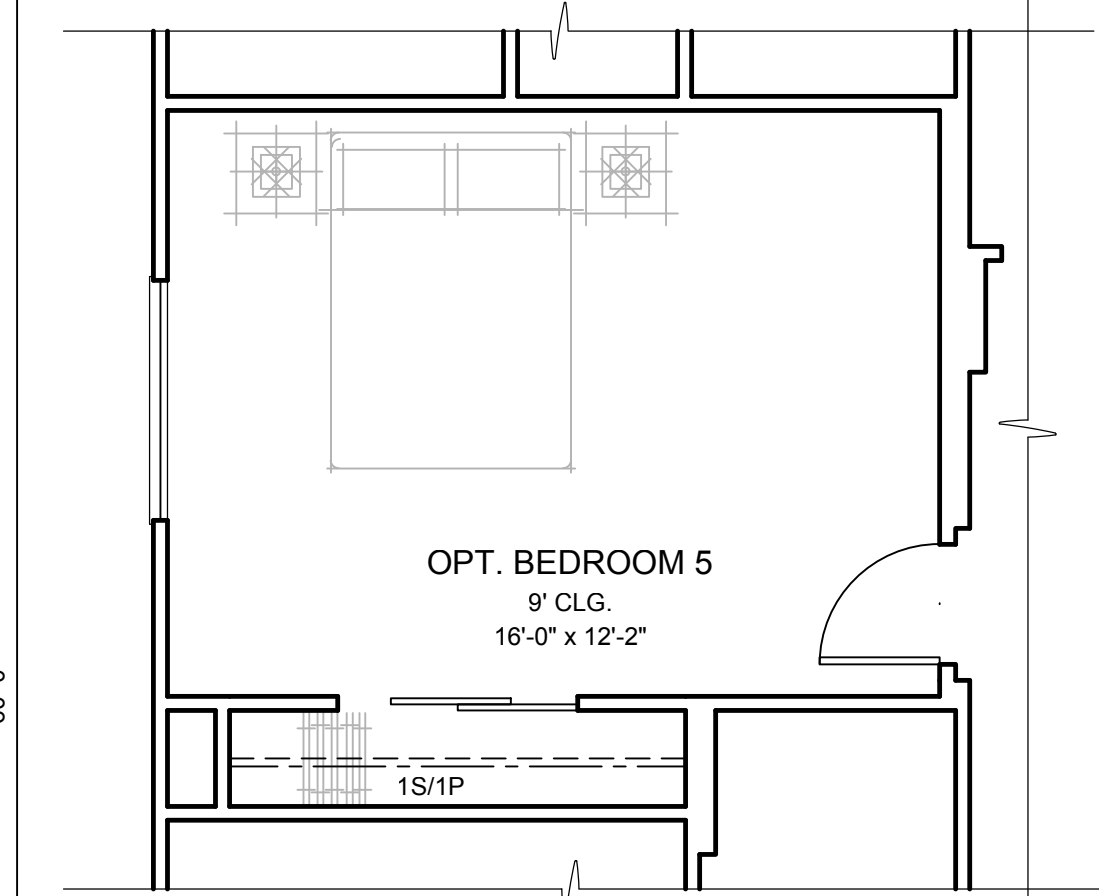
A5.1



PLAN 6 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLAN 6 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

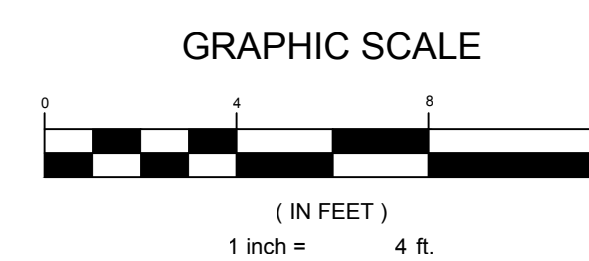


**PLAN 6 SECOND FLOOR PLAN
OPT. BEDROOM 5**
SCALE: 1/4" = 1'-0"

PLAN 6- Elev. A	
TOTAL LIVING AREA:	2904 sq. ft.
First Floor	1387 sq. ft.
Second Floor	1517 sq. ft.
2 Car Garage:	497 sq. ft.
Front Porch	sq. ft.
Opt. California Room	198 sq. ft.
PLAN 6- Elev. C	
TOTAL LIVING AREA:	sq. ft.
First Floor	sq. ft.
Second Floor	sq. ft.
2 Car Garage:	sq. ft.
Front Porch	sq. ft.
Opt. California Room	sq. ft.
PLAN 6- Elev. B & Elev. E	
TOTAL LIVING AREA:	sq. ft.
First Floor	sq. ft.
Second Floor	sq. ft.
2 Car Garage:	sq. ft.
Front Porch	sq. ft.
Opt. California Room	sq. ft.
4BR, 3 BA with Loft Opt. Bedroom, 5/BA3 Opt. California Room Master Closet Pole: 39'-6"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 6
Floor Plans**

WISTERIA
for STANDARD PACIFIC HOMES



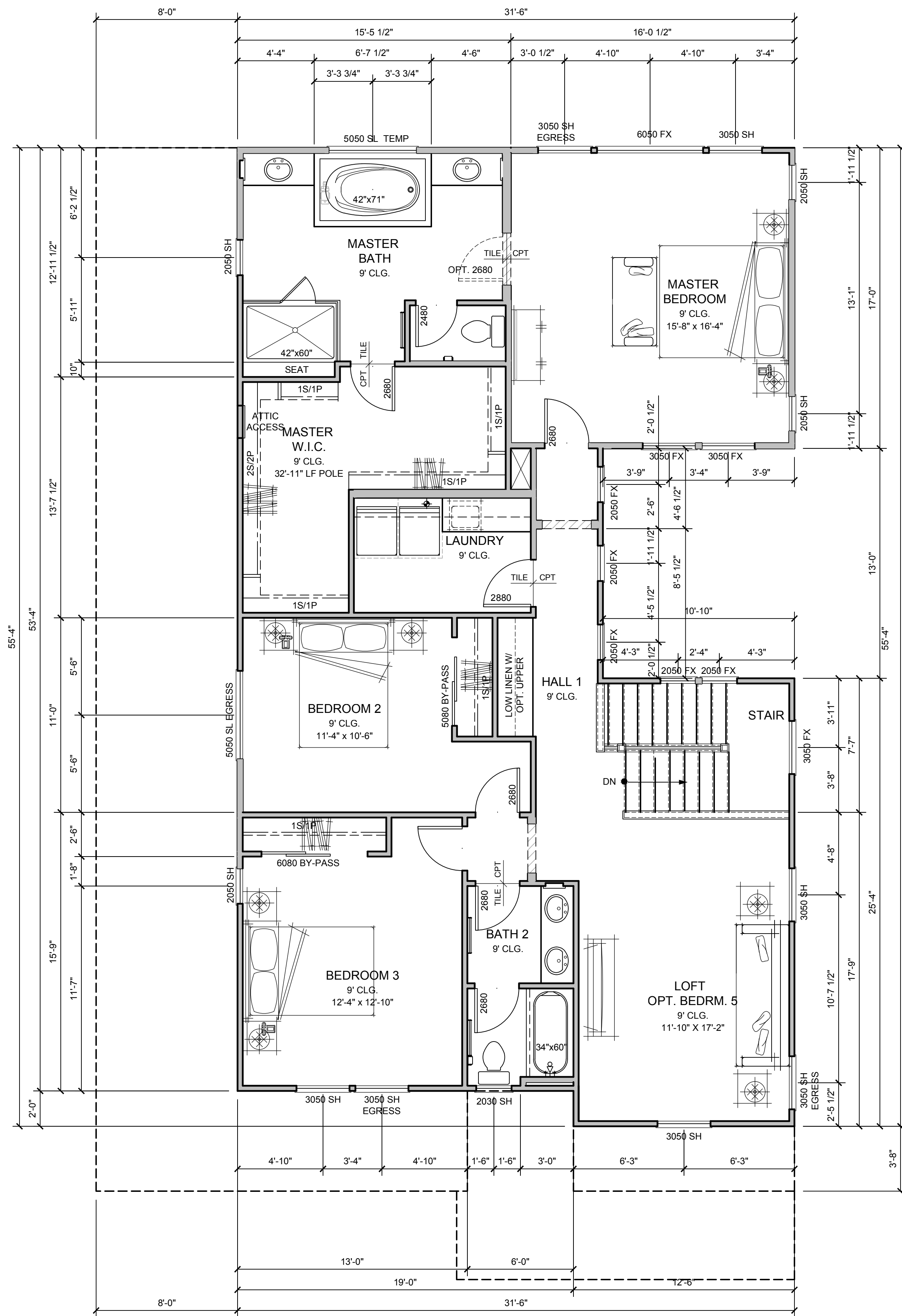
DAHLIN
group

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

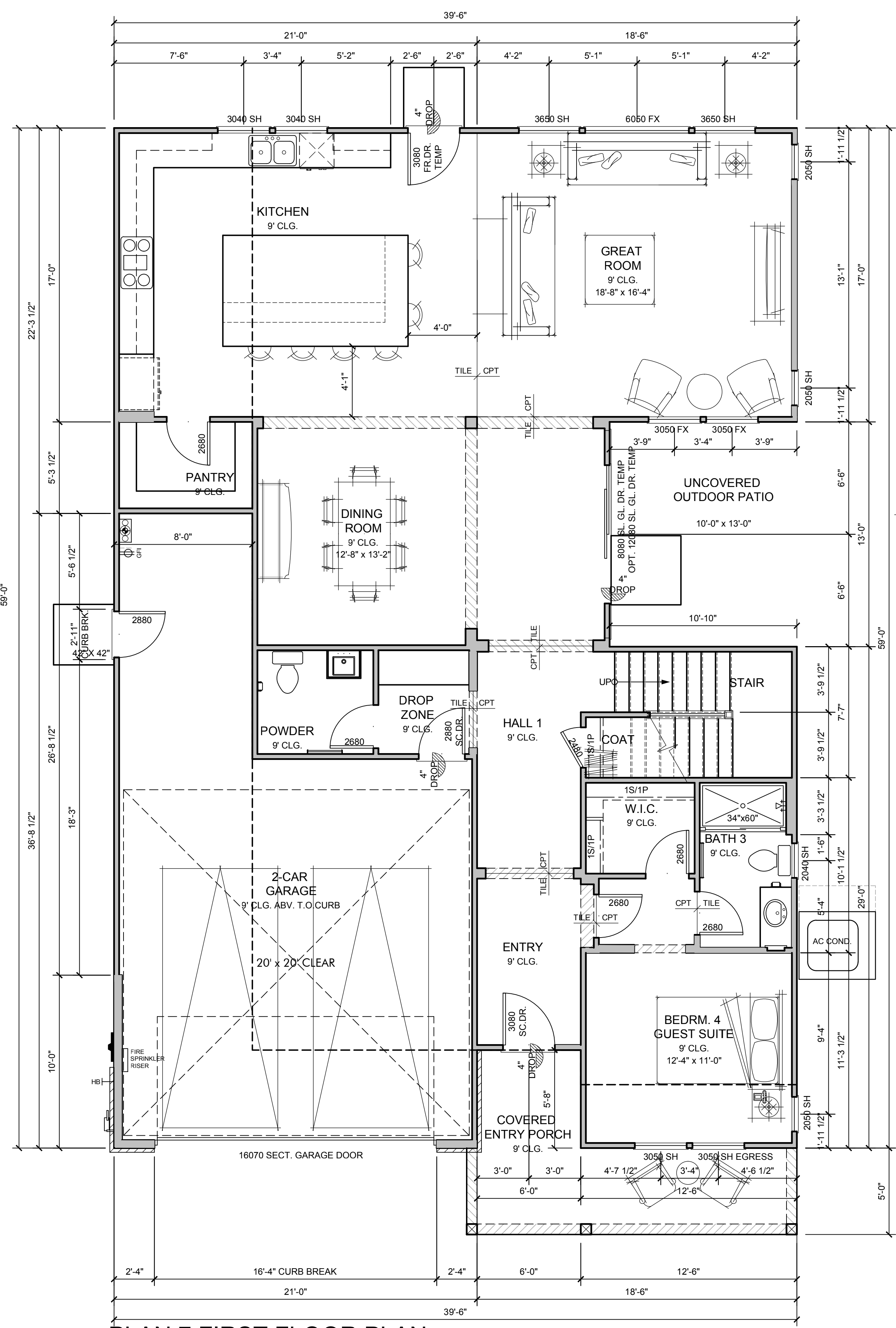
JOB NO. 360.048

04/27/15
PC Workshop Drawings

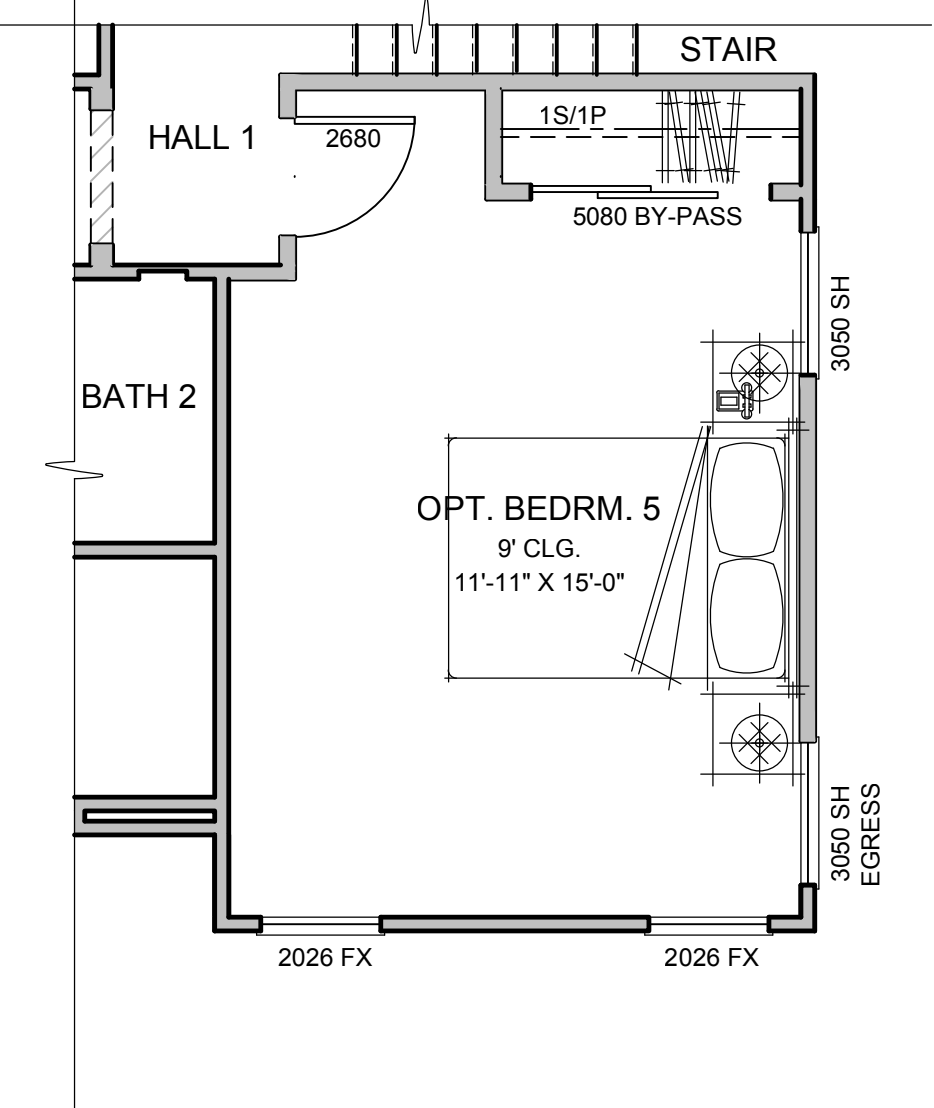
DATE: **A6.1**
Residential Dev. Control System Application 10-01-2014



**PLAN 7 SECOND FLOOR PLAN
ELEVATION A, FRENCH**
SCALE: 1/4" = 1'-0"



**PLAN 7 FIRST FLOOR PLAN
ELEVATION A, FRENCH**
SCALE: 1/4" = 1'-0"

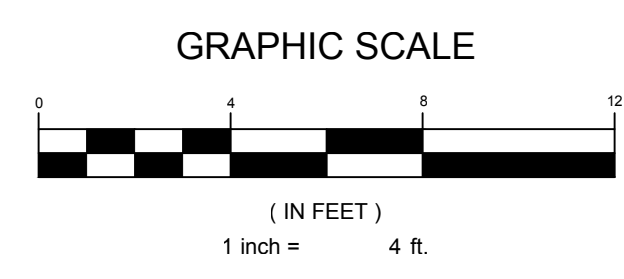


**PLAN 7
SECOND FLOOR PLAN
OPT. BEDROOM 5
ELEV. C, CRAFTSMAN**
SCALE: 1/4" = 1'-0"

PLAN 7	
TOTAL LIVING AREA: 3059 sq. ft.	
First Floor	1573 sq. ft.
Second Floor	1486 sq. ft.
2 Car Garage	
Entry Porch (Elevation A)	583 sq. ft.
Patio:	91 sq. ft.
	141 sq. ft.
4 BR, 3.5 BA with Loft	
Bedroom 5 Option	
Master Closet Pole: 33'-5"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

**Plan 7
Floor Plans**

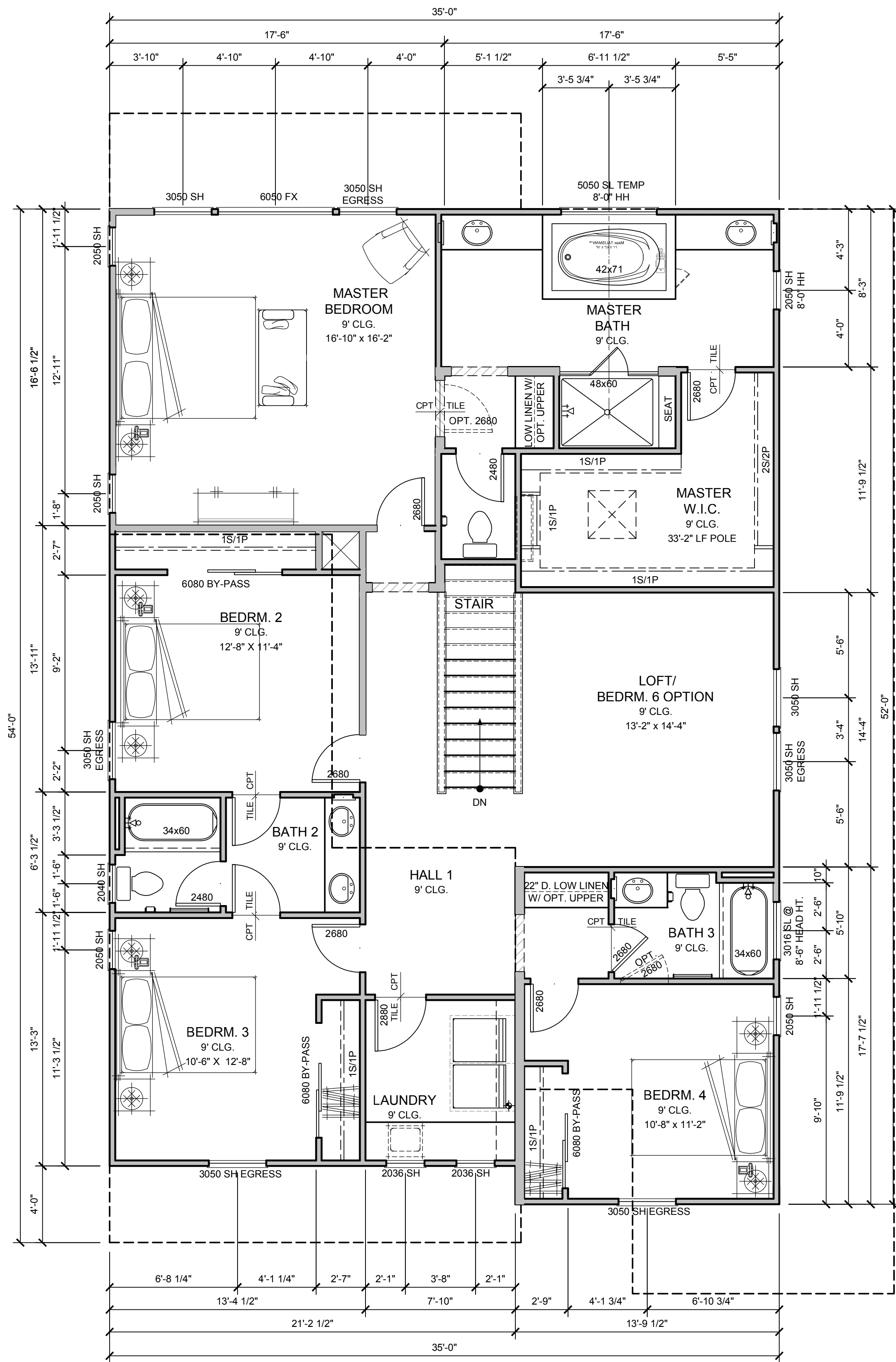
WISTERIA
for STANDARD PACIFIC HOMES



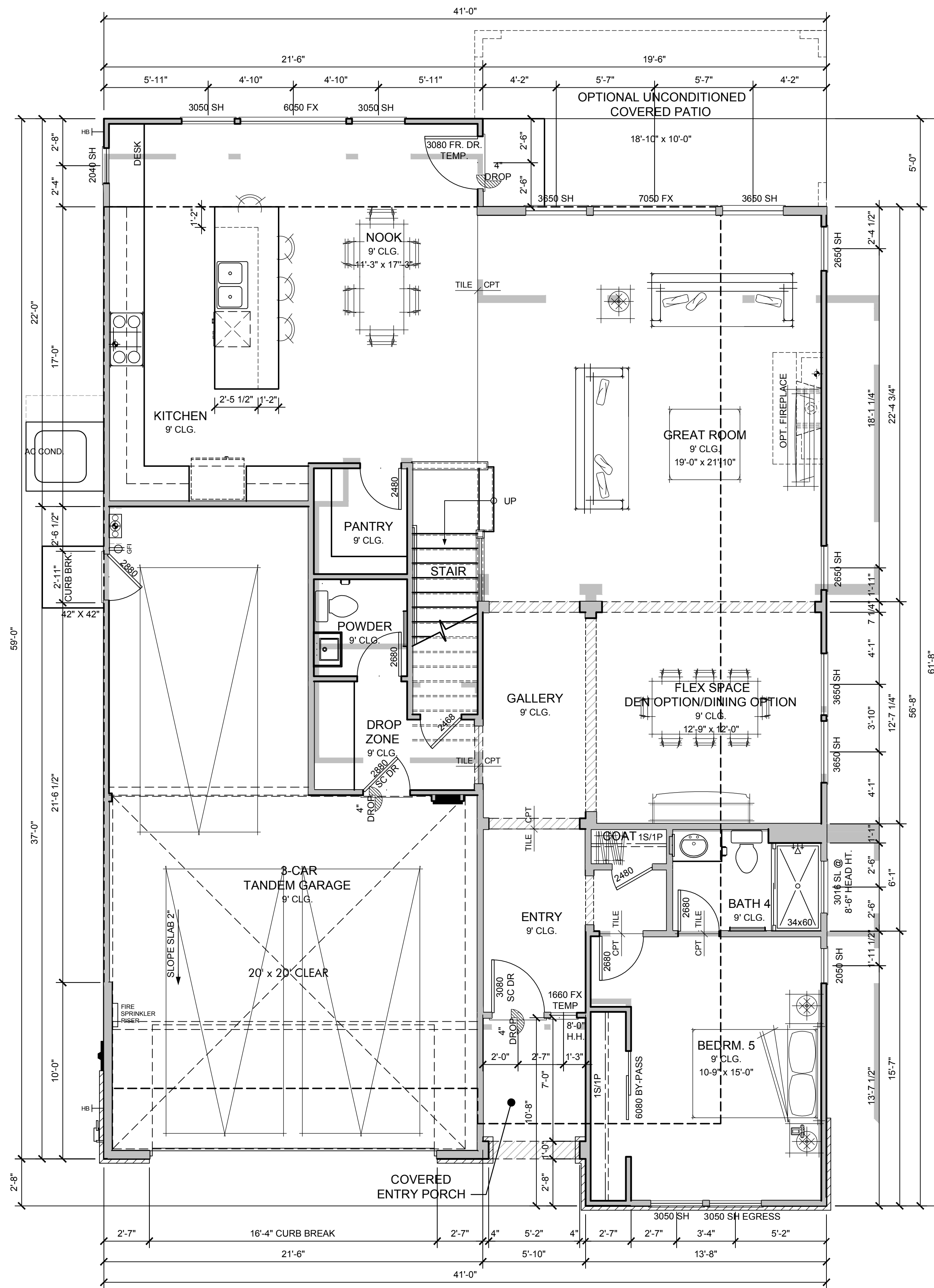
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

JOB NO. 360.048
04/27/15
PC Workshop Drawings
DATE:
Residential Dev. Control System Application 10-01-2014

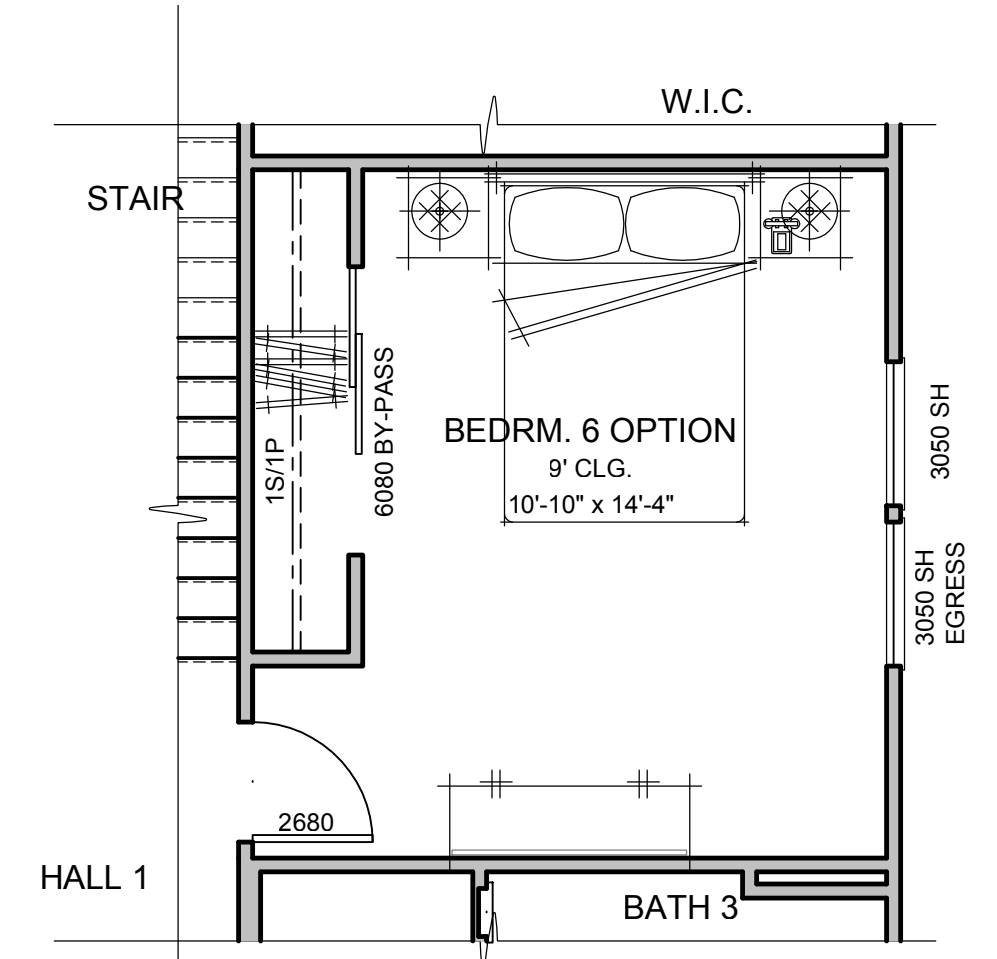
A7.1



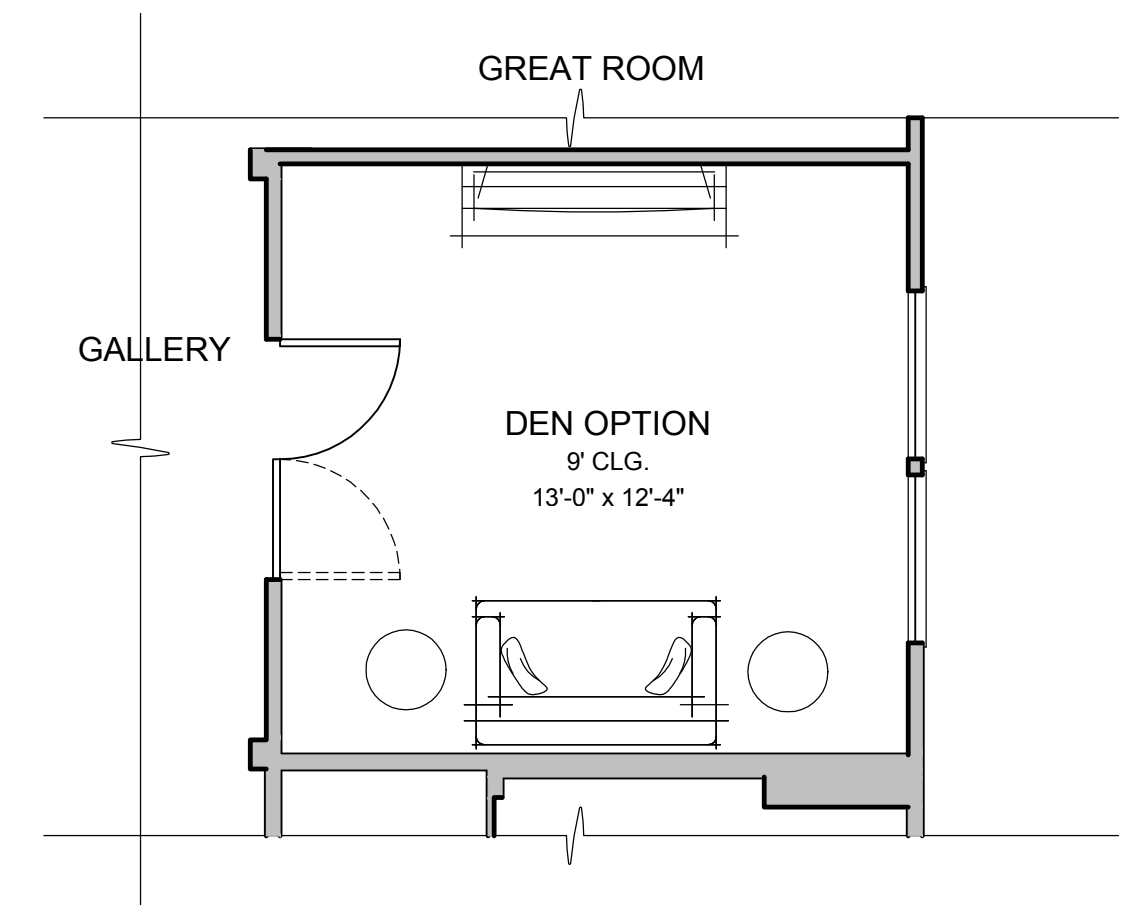
PLAN 8, SECOND FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



PLAN 8, FIRST FLOOR PLAN, ELEVATION A, FRENCH
SCALE: 1/4" = 1'-0"



PLAN 8 SECOND FLOOR PLAN, BEDROOM 6 OPTION
SCALE: 1/4" = 1'-0"



PLAN 8 FIRST FLOOR PLAN, DEN OPTION
SCALE: 1/4" = 1'-0"

PLAN 8	
TOTAL LIVING AREA:	3415 sq. ft.
First Floor	1681 sq. ft.
Second Floor	1734 sq. ft.
3 Car Garage	630 sq. ft.
Entry Porch (Elevation A)	42 sq. ft.
Opt. Unconditioned Covered Patio	195 sq. ft.
5 BR, 4.5 BA	
1st Flr. Den Option, Dining Rm. Option	
2nd Flr. Bedrm. 6 Option	
Master Closet Pole: 33'-2"	
<small>Floor Plan Options Do Not Increase Floor Plan Square Footage</small>	

