



GRANADA HOTEL - MIXED-USE

17490 MONTEREY ST., MORGAN HILL, CA 95037

ARCHITECTURE:

- A0.0 TITLE SHEET
- A0.1 PROJECT DESCRIPTION & DATA
- A1.0 CONCEPTUAL SITE PLAN
- A1.1 SITE DATA
- A1.2 SITE AERIAL VIEW
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 THIRD FLOOR PLAN
- A2.4 FOURTH FLOOR PLAN
- A2.5 ROOF PLAN
- A3.0 SOUTH & EAST ELEVATIONS
- A3.1 NORTH & WEST ELEVATIONS
- A4.0 CONCEPTUAL BUILDING SECTION
- A5.0 STANDARD UNIT PLANS
- A5.1 DELUXE UNIT PLANS
- A5.2 SUITE UNIT PLANS
- A5.3 SUITE UNIT PLANS
- A5.4 TRASH AND RECYCLING ENCLOSURE
- A6.0 PERSPECTIVE VIEW
- A6.1 PERSPECTIVE VIEW
- A6.2 PERSPECTIVE VIEW
- A6.3 PERSPECTIVE VIEW
- A7.0 MATERIALS BOARD
- SL-1 CONCEPTUAL SITE LIGHTING PLAN
- SL-2 CONCEPTUAL SITE LIGHTING

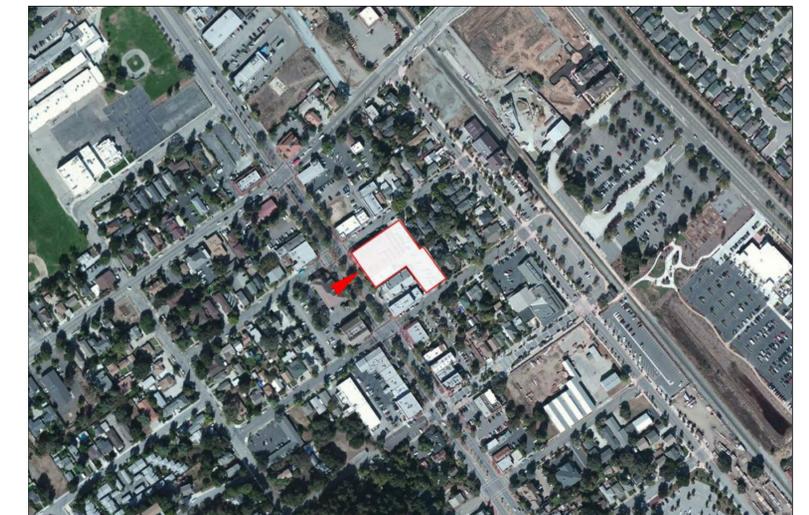
LANDSCAPE:

- L1.0 SITE LANDSCAPE MATERIAL PLAN
- L1.1 LANDSCAPE / MATERIALS PLAN - LEVELS 2 & 3
- L2.0 SITE PLANTING PLAN
- L2.1 PLANTING PLAN LEVEL 2 & 3

CIVIL:

- C1 SITE PLAN
- C2 CONCEPTUAL GRADING PLAN
- C3 CONCEPTUAL UTILITY PLAN

Vicinity map:



A project by:



Leal Vineyards, Inc.
300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

Design team:



Architect:
KTGY Group, Inc.

12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
ktgy.com

Civil Engineer:
Velimir Sulic
Peoples Associates Str. Engineers
408.966.0165

Structural Engineer:
Donald Peoples
Peoples Associates Str. Engineers
1996 Tarob Court,
Milpitas, CA 95035
408.957.9220

GRANADA HOTEL - MIXED-USE



Leal Vineyards, Inc.
300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

TITLE SHEET

MORGAN HILL, CA

KTGY # 20150688

03.04.2016

KTGY Group, Inc.
Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
ktgy.com



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PROJECT DESCRIPTION

The proposed project at 17420, 17430 & 17440 Monterey Road will be a small design oriented boutique hotel with 60 rooms. The project is situated immediately adjacent to the Granada Theater to the east and single family residences to the North.

The hotel will operate 24 hours a day, 7 days a week, year round. The hotel will also include a lobby and reception area, small conference room, vintage wine bar, Spa & Fitness, Banquet hall, outdoor pool, communal outdoor living room/ lounge and roof vegetable gardens. The ground floor will accommodate a bar, restaurant, flower shop and a market. The hotel will provide valet for all the guests. No parking on premises.

The project will be designed using vintage brick veneer, FSC woods in horizontal and vertical patterns, corten steel, board form concrete, glass, rain screen with translucent panels and materials that reference the local natural palate and reflect the setting.

PROJECT DATA

LEAL VINEYARDS - Project Summary Data

Unit Summary:	Unit Type	No. of Units	Unit (Net) S.F.	Total (Net) Unit S.F.	Private Open S.F.	Total Private Open S.F.
Standard Room	Standard 1	13	312	4,056.00	28	364
	Standard 2	6	324	1,944.00	24	144
		2		648.00	205	410
	Standard 3	11	298	3,278.00	25	275
	Standard 4	18	281	5,058.00	6	108
Total		50		14,984.00		1,301.00
Deluxe Room	Deluxe 1	1	436	436.00	24	24
		1		436.00	232	232
	Deluxe 2	2	401	802.00	6	12
	Deluxe 3	1	408	408.00	56	56
Total		5		2,082.00		324.00
Suite	Suite 1	1	577	577.00	30	30
	Suite 2	1	527	527.00	28	28
	Suite 3	1	658	658.00	42	42
	Suite 4	1	584	584.00	50	50
	Suite 5	1	547	547.00	25	25
	Total		5		2,893.00	
Total No. of Units		60		19,959.00		1,800.00

Building S.F. / Floor	Gross S.F.
First Floor	20,610
Second Floor	17,825
Third Floor	15,030
Fourth Floor	14,475
Total Gross Building Area	67,940

Floor Area (by Occupancy)	Net S.F.
Kitchen	2,852
Market	3,784
Flower Shop	2,413
Restaurant	3,602
Bar	2,027
Conference Room	602
Banquet Hall (Set-Up Kitchen)	13,442
Spa / Fitness	2,424
Common Areas	3,438
Hotel Rooms	19,959
Circulation (Corridors)	4,766
Circulation (Elevators / Stairs)	676
Service (Mech., Elec.)	2,057
Total	62,042
Other	
Outdoor Patio	539
Paseo / Courtyard & event Space	3,838
Pool Deck	4,736
Roof Garden	3,483
Private Open Space (Balconies)	1,800
Parking Area	10,890

Zoning CBD - Central Business District - Downtown Commercial

Site Information	
Site Area	(1.09 AC) 47582
Area S.F. 47582	
Lot Coverage:	
Total Building Footprint	20,610
% Coverage	43%
Area S.F. 47582	

Open Space Provided:	
Private Balconies	1,800
Common Open Space + Courtyards	12,596
Total Open Space Provided Area	14,396

F.A.R. - Permitted (2.25)			
Floor Area Ratio	Site Area	Total Floor Area	F.A.R.
Project Site	47,582	67,940	1.43
Density:	No Minimum. No Specified Max.		

Parking Required	Net S.F.	Spaces
Market (Retail) 2.8 per 1000 S.F.	3,784	11 Spaces
Flower Shop (Retail) 2.8 per 1000 S.F.	2,413	7 Spaces
Restaurant 1 per 100 S.F.	3,602	37 Spaces
Bar 1 per 100 S.F.	2,027	21 Spaces
Hotel 1.10 per Room	60 Rooms	66 Spaces
Total		142 Spaces
* Total Required per Resolution No. 6640		0 Spaces

Parking Provided	
Parking Stalls	15 Spaces

Zoning Compliance			
Project Setbacks	Requirement	Conforming?	Remarks
Front Façade Setback	0'-10'	Y	
Side Yard Setback	0'	Y	
Rear Setback	0'	Y	
Parking Setbacks			
Street Setback	15'	Y	Distance from PL to first stall only
Side Yard Setback	5'	Y	
Rear Setback	5'	Y	

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Leal Vineyards, Inc.
300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

PROJECT DESCRIPTION & DATA

MORGAN HILL, CA

KIGY # 20150688

03.04.2016

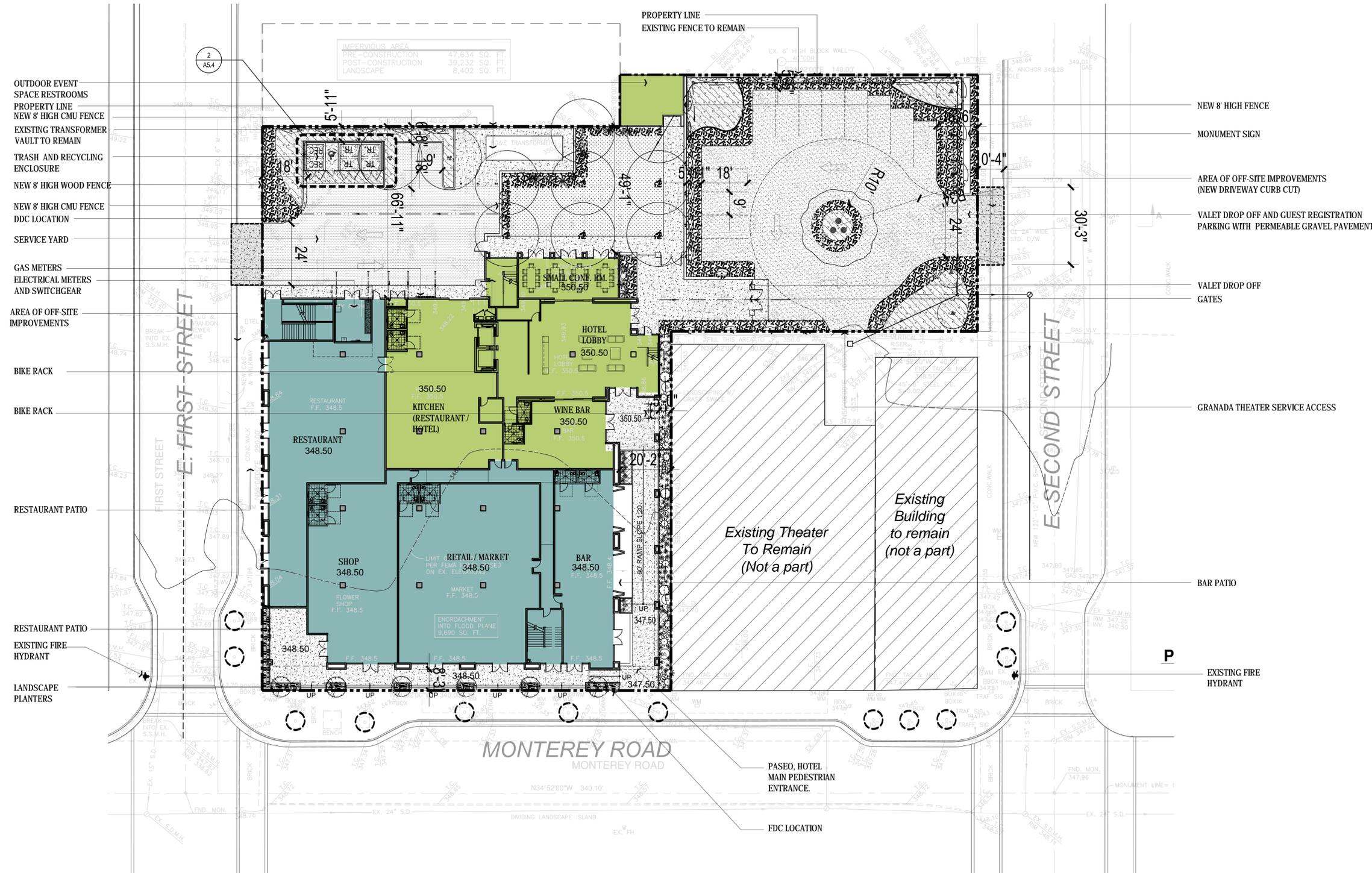
KTGY Group, Inc.
Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
ktgy.com



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PROJECT SUMMARY

SITE AREA:	1.09 ACRES
ZONING:	CBD-GF
DENSITY:	NO MAX NO MIN
LOT COVERAGE:	43%
MAXIMUM HEIGHT:	55' TO TOP PLATE PER DSP
F.A.R.:	1.43



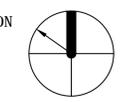
LEGEND

- HOTEL
- COMMERCIAL
- CONCRETE SIDEWALKS, WALKWAYS
- AREA OF PROPOSED OFF-SITE IMPROVEMENTS OR DRIVEWAY CURB CUTS
- PERMEABLE GRAVEL PAVEMENT GRAVELPAVE™TERRA COTTA COLOR 6.836 SQ. FT.
- LANDSCAPE AREAS. SEE CIVIL AND LANDSCAPE FOR ADDITIONAL INFORMATION
- ASPHALT CONCRETE PAVED AREAS 3647 SQ. FT.
- OUTDOOR EVENT SPACE - INTERIOR COURTYARD SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION 2258 SQ. FT.

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR ADDITIONAL CIVIL INFORMATION
2. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION

SCALE : 1" = 20'-0"



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Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
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CONCEPTUAL SITE PLAN

MORGAN HILL, CA
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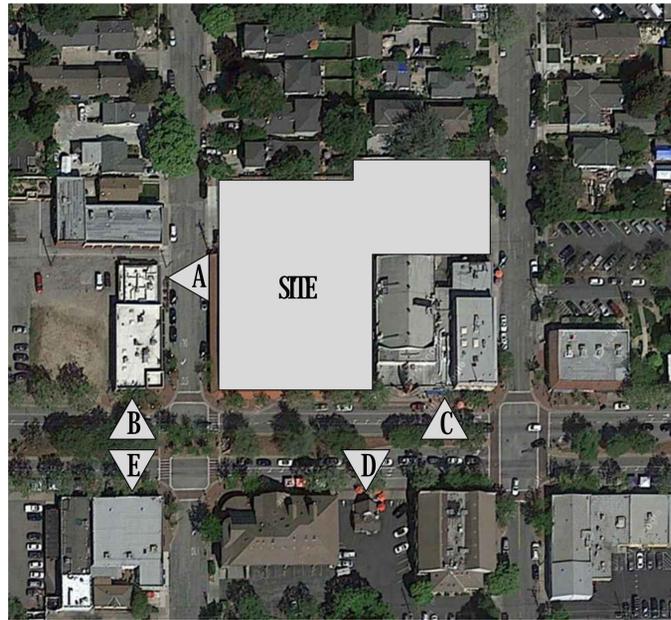
A1.0



A ACROSS E 1ST STREET - RESTAURANT/BAR, RESTAURANT, BUSINESS & RESIDENTIAL COMMUNITY



B. ACROSS E 1ST STREET - PARKING LOT & RESTAURANT/BAR



C. ADJACENT LOTS ALONG MONTEREY STREET - HISTORIC GRANADA THEATER & OFFICES/BUSINESSES



D. ACROSS MONTEREY STREET - MISCELLANEOUS OFFICES/BUSINESSES, RESTAURANT & OFFICE BUILDING



E. OPPOSITE CORNER - MISCELLANEOUS BUSINESSES

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Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

SITE DATA

MORGAN HILL, CA
 KIGY # 20150688

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KTGY Group, Inc.
Architecture+Planning
 12555 West Jefferson Blvd.,
 Suite 100
 Los Angeles, CA 90066
 310.394.2623
 ktgy.com





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Leal Vineyards, Inc.
300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

SITE AERIAL VIEW

MORGAN HILL, CA

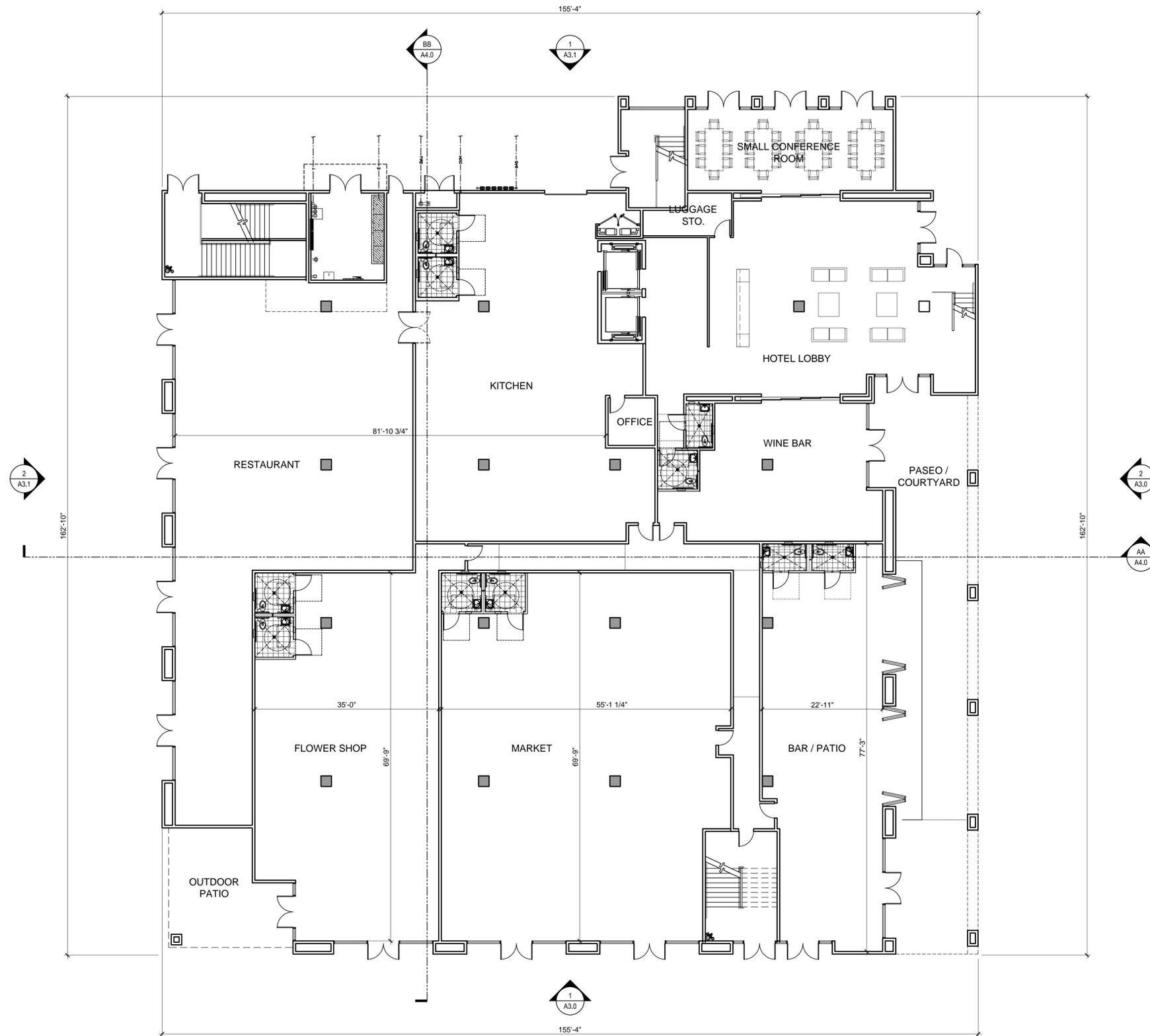
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Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
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GENERAL NOTES

- 1. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION

SCALE : 3/32" = 1'-0"



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 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

FIRST FLOOR PLAN

MORGAN HILL, CA

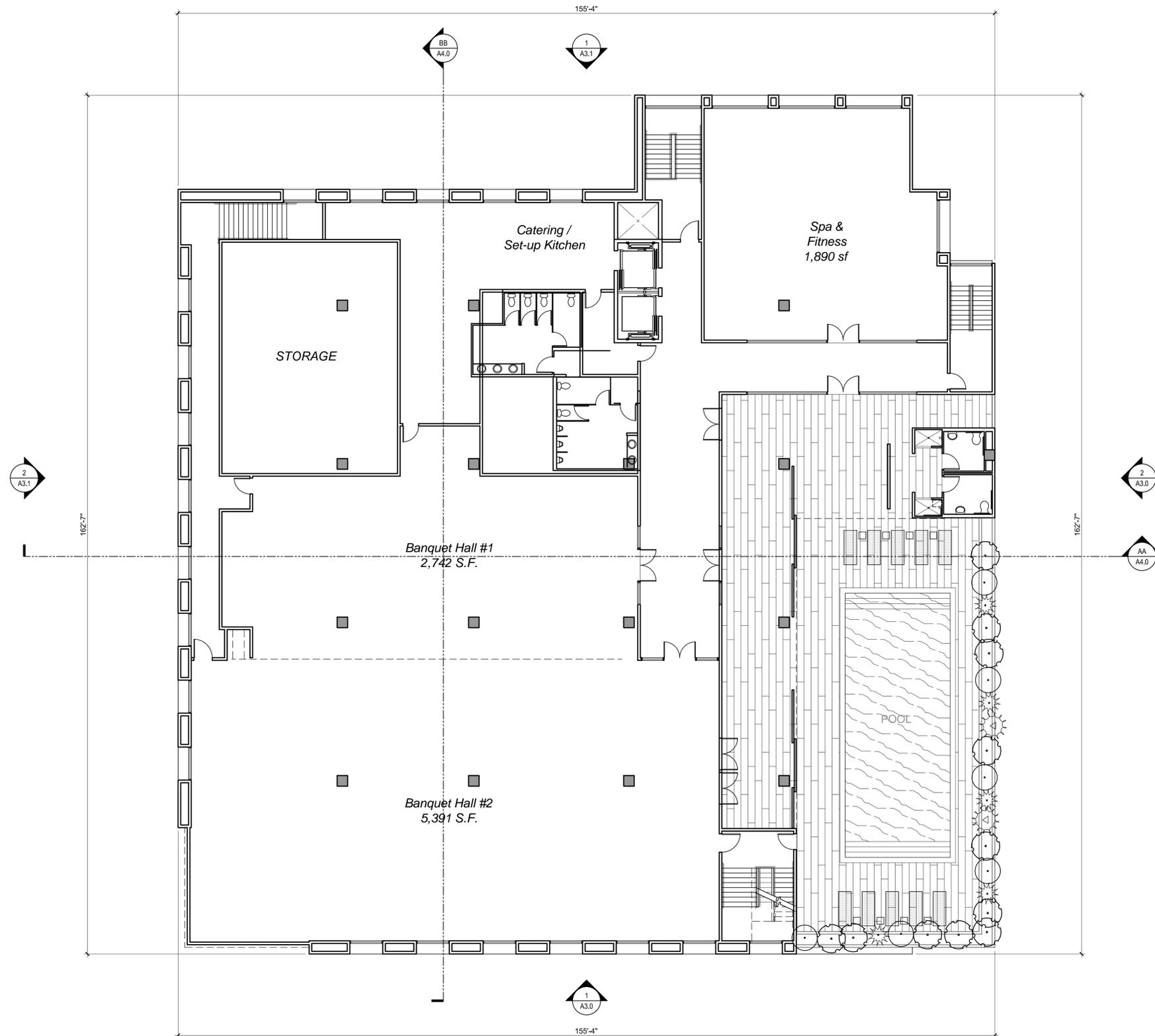
KIGY # 20150688

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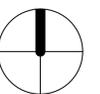
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Architecture+Planning
 12555 West Jefferson Blvd.,
 Suite 100
 Los Angeles, CA 90066
 310.394.2623
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GENERAL NOTES

1. FOR POOL AREA LANDSCAPE. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION.

SCALE : 3/32" = 1'-0"



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Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

SECOND FLOOR PLAN

MORGAN HILL, CA

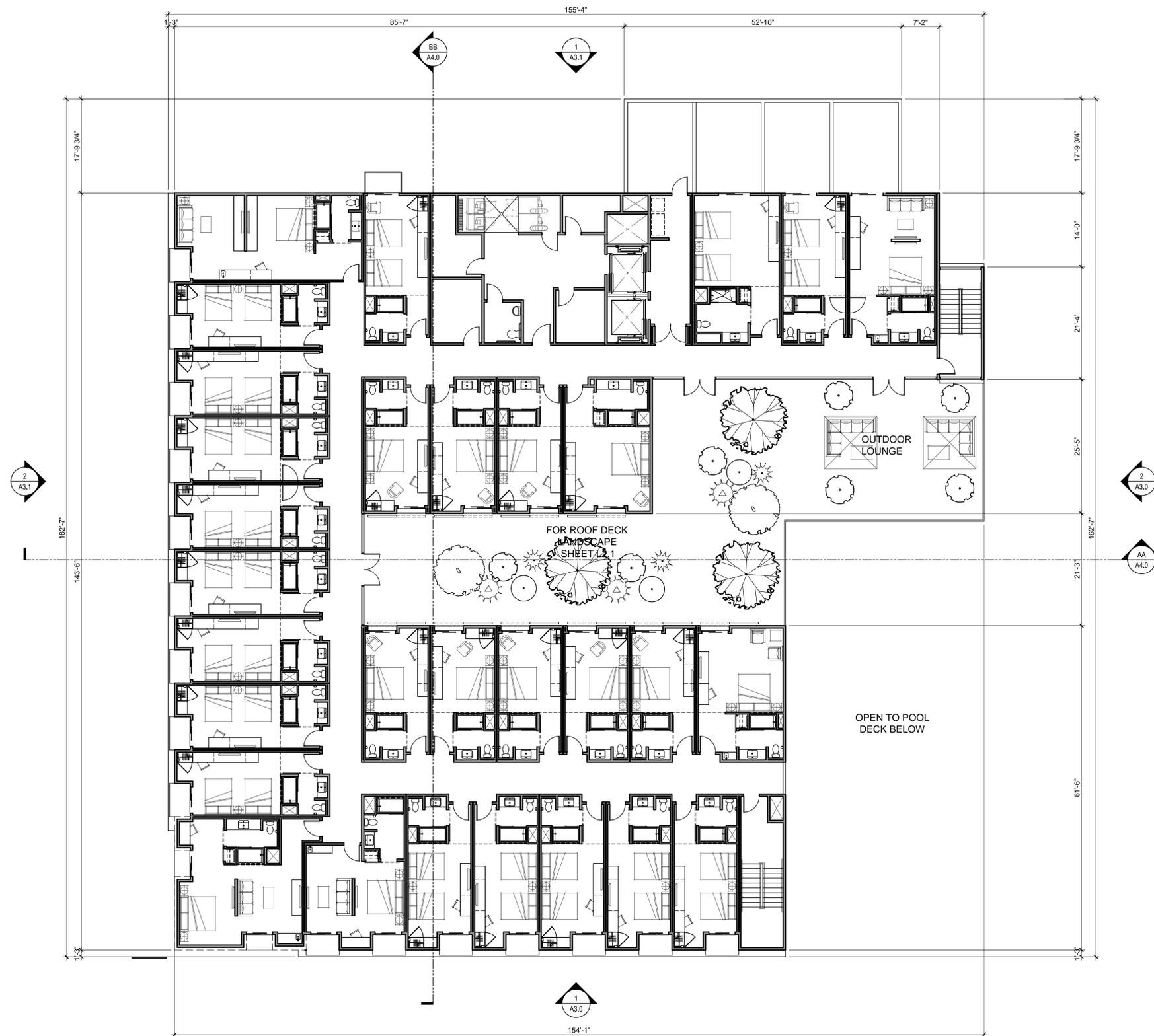
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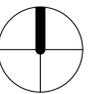
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 Suite 100
 Los Angeles, CA 90066
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GENERAL NOTES

1. FOR OUTDOOR LOUNGE AND ROOF GARDEN INFORMATION, SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION

SCALE : 3/32" = 1'-0"



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 Hollister, CA 95023
 831.636.1023
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THIRD FLOOR PLAN

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 Suite 100
 Los Angeles, CA 90066
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GENERAL NOTES

1. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPE INFORMATION

SCALE : 3/32" = 1'-0"



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 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
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FOURTH FLOOR PLAN

MORGAN HILL, CA

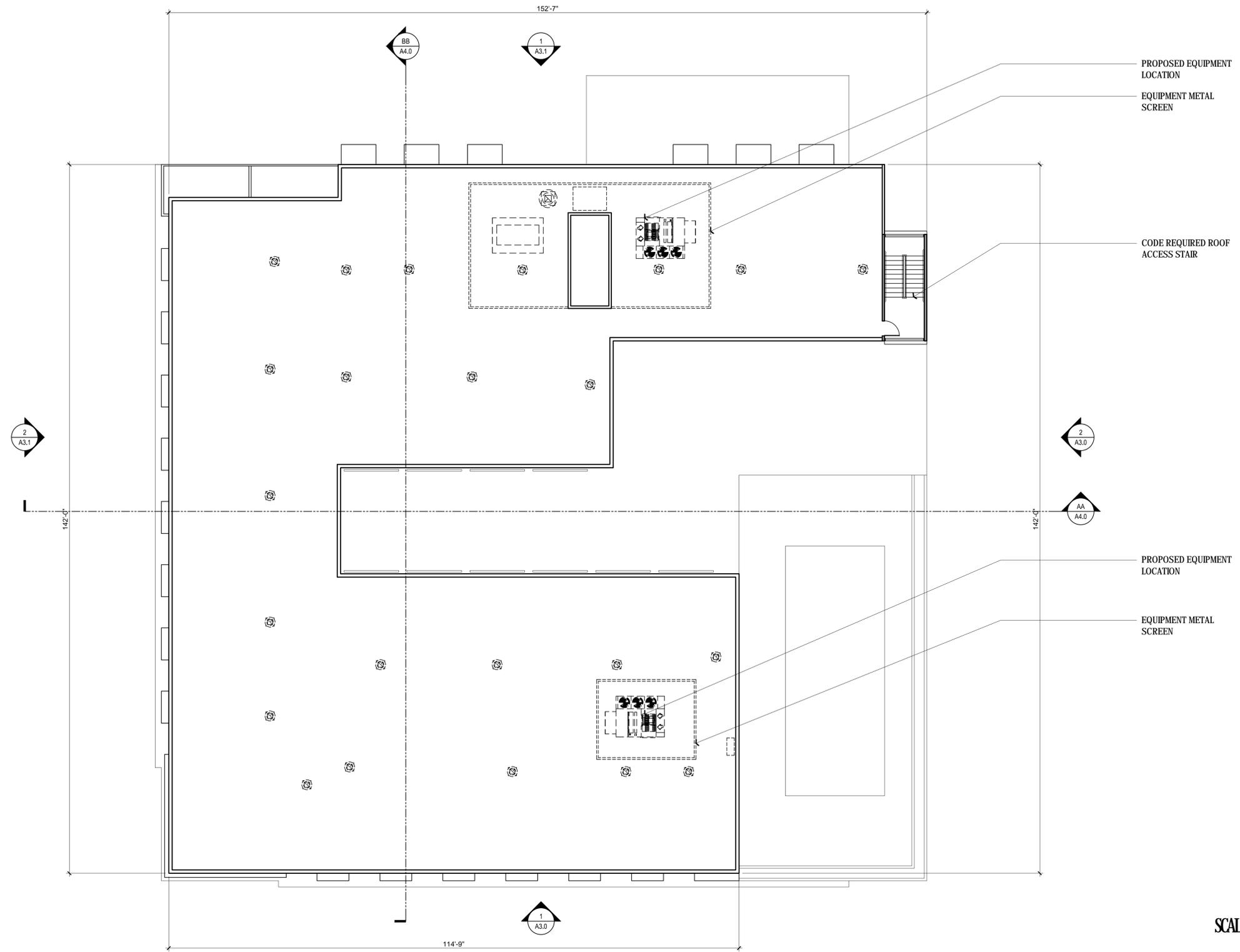
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 Los Angeles, CA 90066
 310.394.2623
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SCALE : 3/32" = 1'-0"

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Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
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ROOF PLAN

MORGAN HILL, CA
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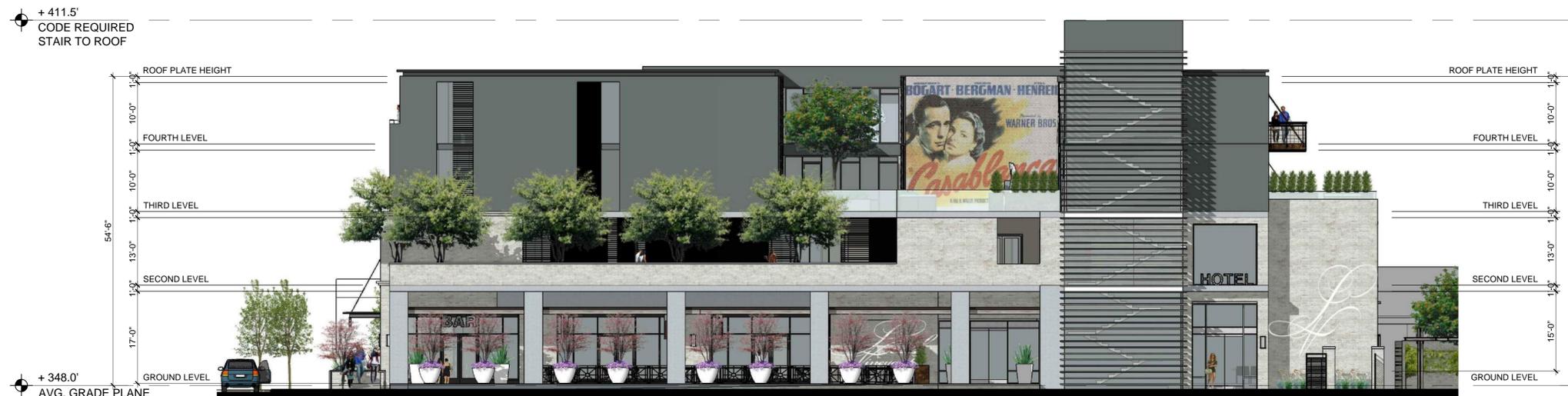
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KTYG Group, Inc.
Architecture+Planning
 12555 West Jefferson Blvd.,
 Suite 100
 Los Angeles, CA 90066
 310.394.2623
 ktgy.com





SOUTH ELEVATION



EAST ELEVATION

GENERAL NOTES

1. SIGNAGE SHOWN ON ELEVATIONS IS CONCEPTUAL ONLY. SIGNAGE IS NOT PART OF THIS SUBMITTAL. SIGNAGE TO BE REVIEWED FOR APPROVAL THROUGH SIGNAGE PERMIT

GRANADA HOTEL - MIXED-USE



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 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

SOUTH & EAST ELEVATIONS

MORGAN HILL, CA

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 12555 West Jefferson Blvd.,
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 Los Angeles, CA 90066
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A3.0



NORTH ELEVATION



WEST ELEVATION

GENERAL NOTES

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Hollister, CA 95023
831.636.1023
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NORTH & WEST ELEVATIONS

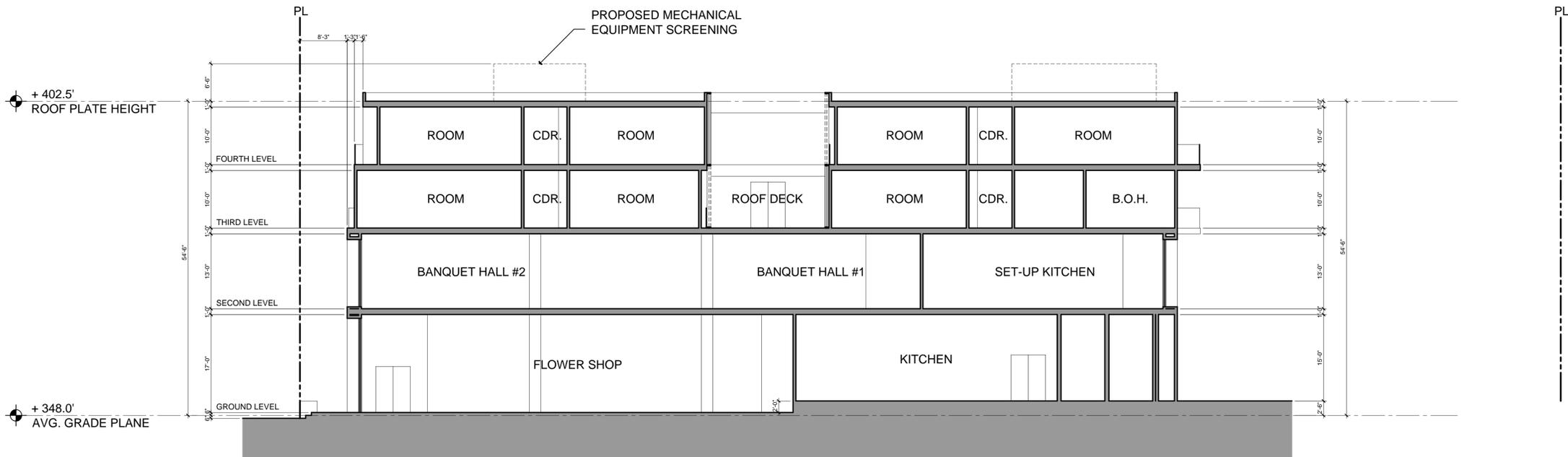
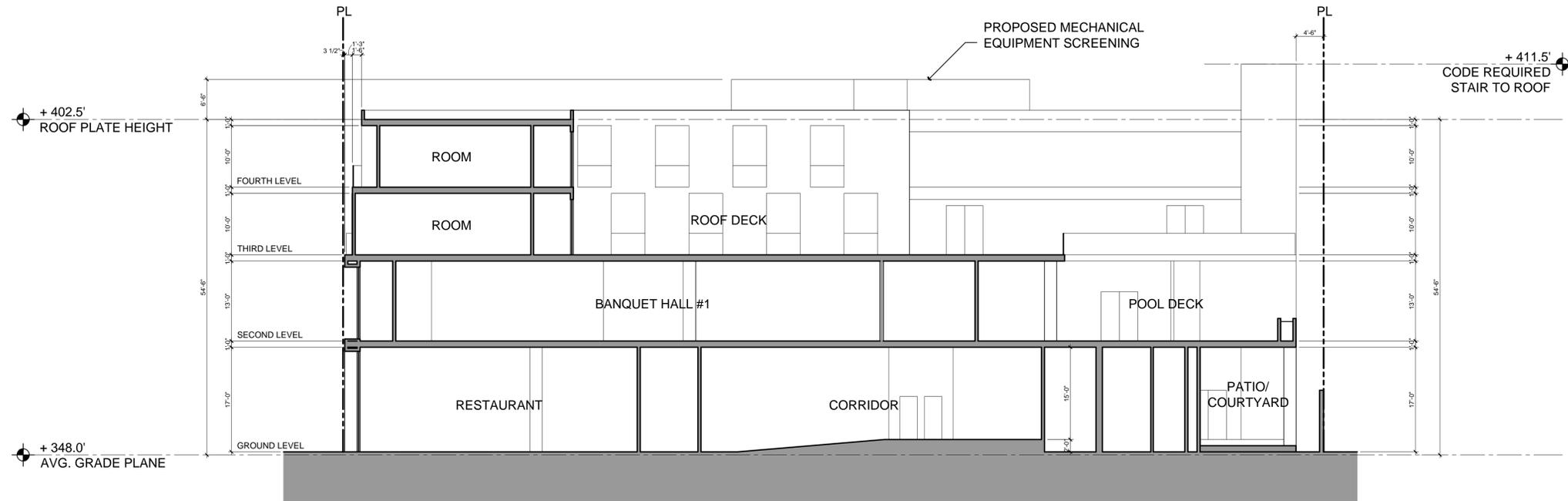
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Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
ktgy.com





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Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

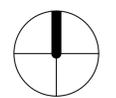
CONCEPTUAL BUILDING SECTIONS

MORGAN HILL, CA

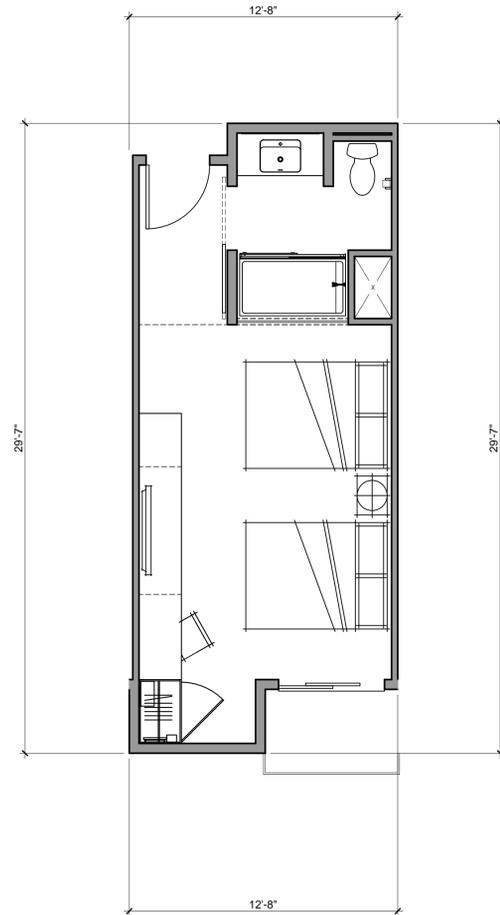
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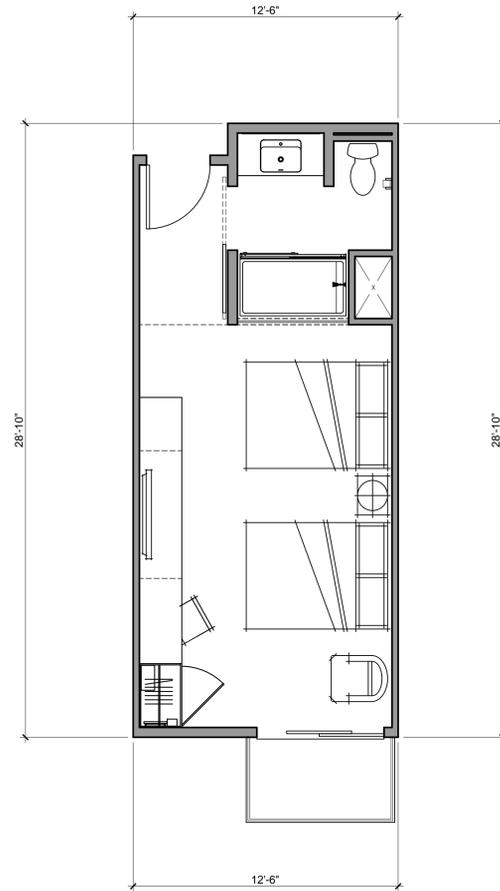
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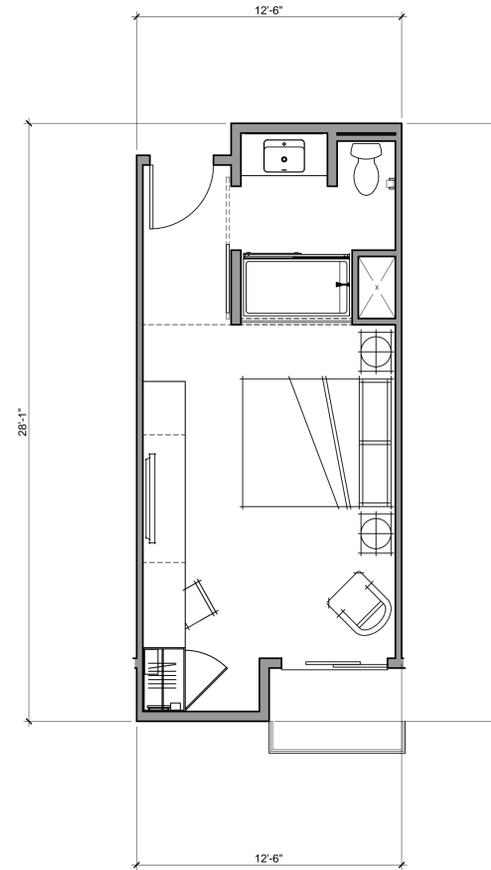
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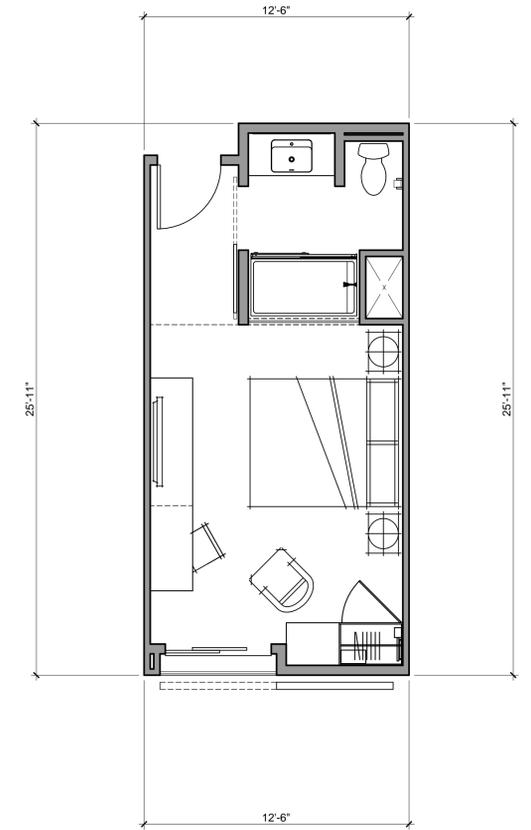
STANDARD UNIT 1
315 SQ. FT.



STANDARD UNIT 2
326 SQ. FT.



STANDARD UNIT 3
301 SQ. FT.



STANDARD UNIT 4
285 SQ. FT.

GRANADA HOTEL - MIXED-USE



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300 Marantha Drive
Hollister, CA 95023
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STANDARD UNIT PLANS

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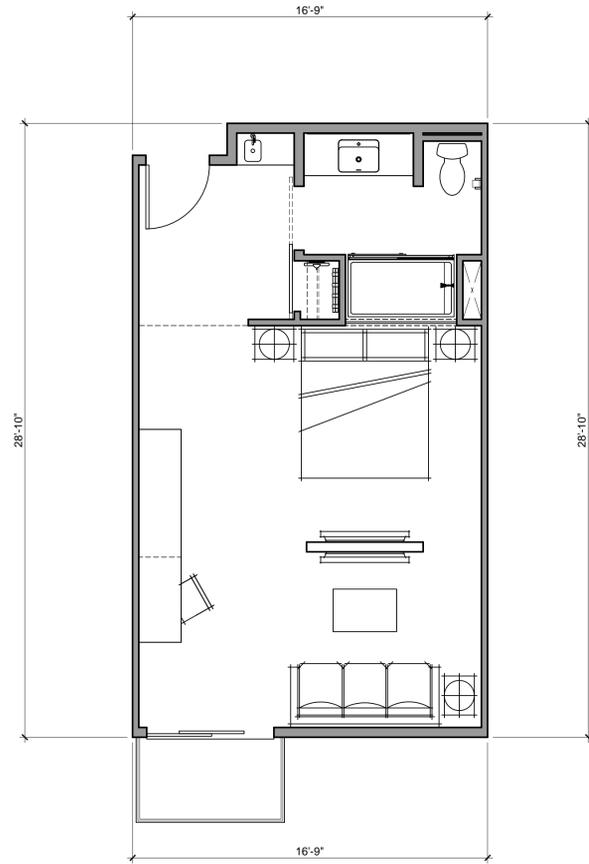
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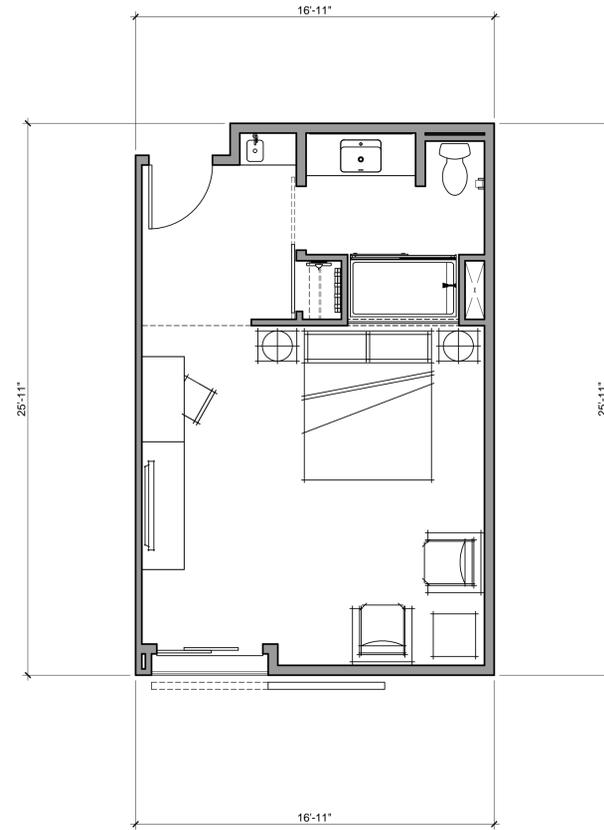
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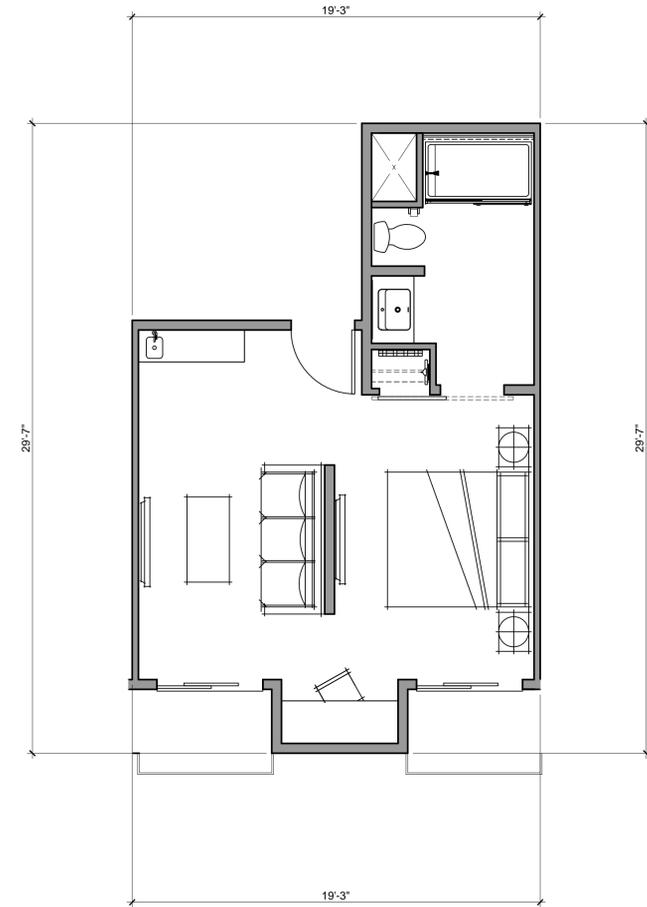


DELUXE UNIT 1
444 SQ. FT.



DELUXE UNIT 2
391 SQ. FT.

ALT. BALCONY



DELUXE UNIT 3
394 SQ. FT.

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300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

DELUXE UNIT PLANS

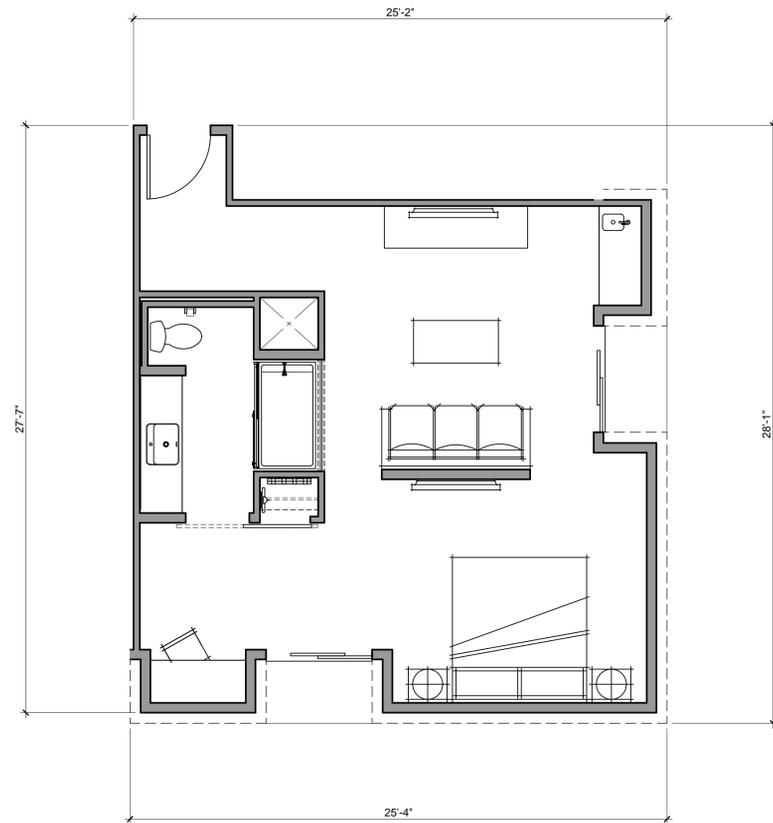
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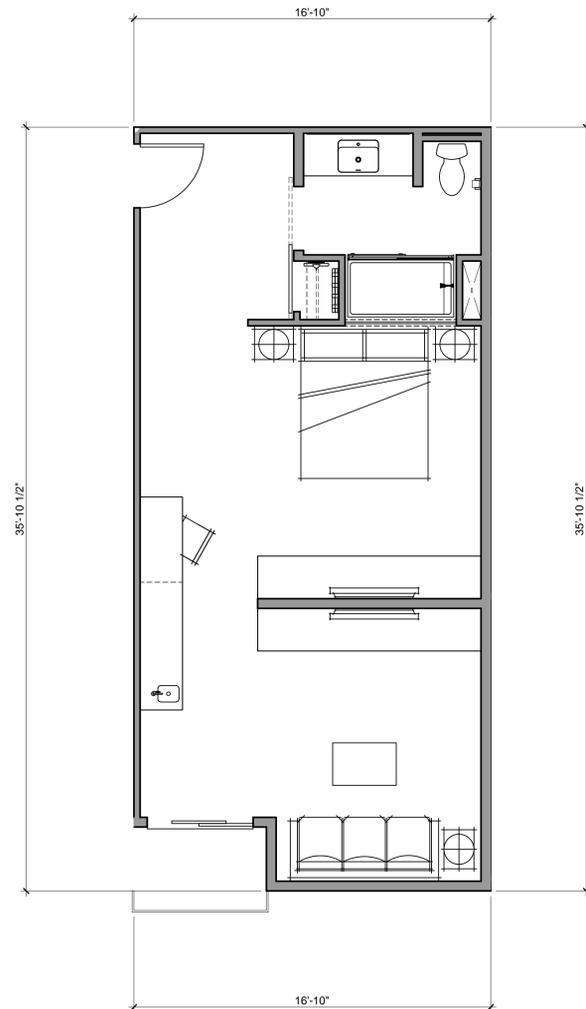
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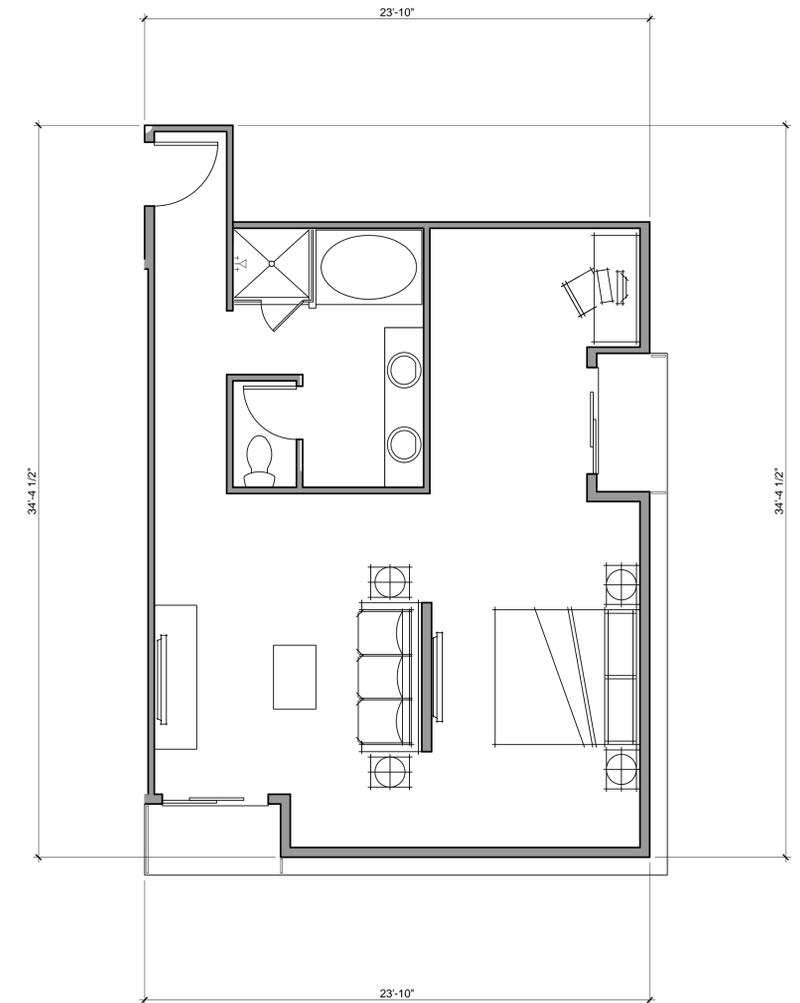




SUITE UNIT 1
535 SQ. FT.



SUITE UNIT 2
546 SQ. FT.



SUITE UNIT 3
648 SQ. FT.

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Leal Vineyards, Inc.
300 Marantha Drive
Hollister, CA 95023
831.636.1023
lealvineyards.com

SUITE UNIT PLANS

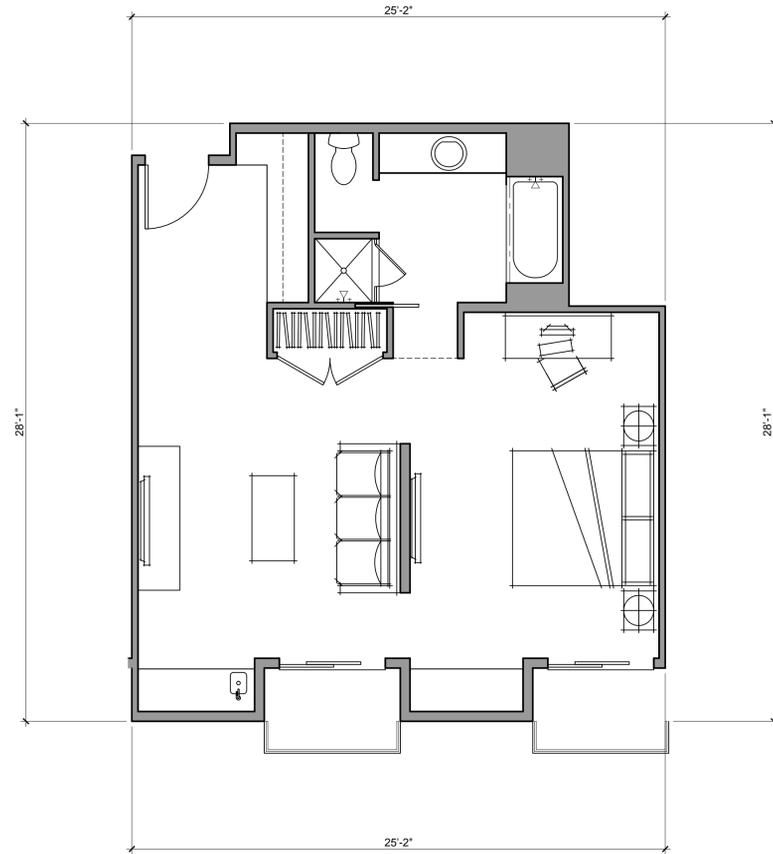
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KIGY # 20150688

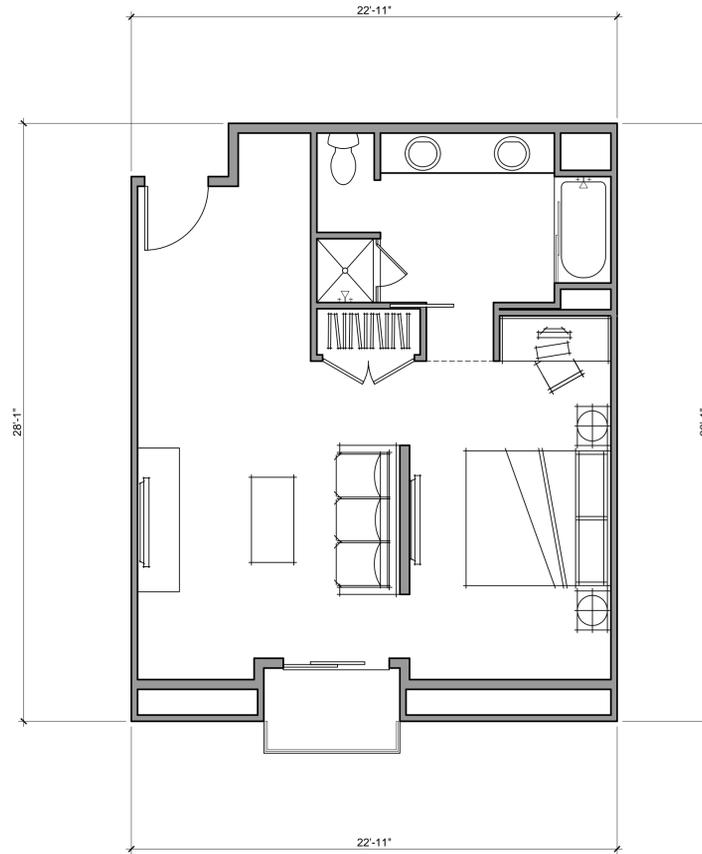
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KTGY Group, Inc.
Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
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SUITE UNIT 4
588 SQ. FT.



SUITE UNIT 5
554 SQ. FT.

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300 Marantha Drive
Hollister, CA 95023
831.636.1023
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KTGY Group, Inc.
Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
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A SOUTH ELEVATION



B NORTH ELEVATION



C EAST ELEVATION

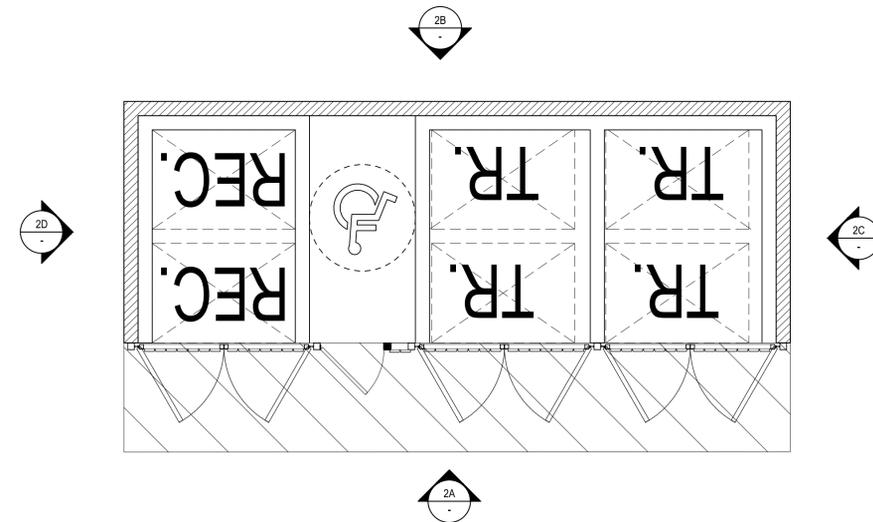


D WEST ELEVATION

2 TRASH ENCLOSURE- ELEVATIONS
1/4" = 1'-0"



PERSPECTIVE VIEW



1 TRASH ENCLOSURE- FLOOR PLAN
1/4" = 1'-0"

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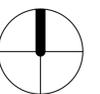
TRASH AND RECYCLING ENCLOSURE

MORGAN HILL, CA

KIGY # 20150688

03.04.2016

KTGY Group, Inc.
Architecture+Planning
12555 West Jefferson Blvd.,
Suite 100
Los Angeles, CA 90066
310.394.2623
ktgy.com



A5.4



GRANADA HOTEL - MIXED-USE



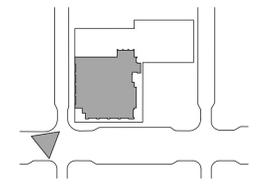
Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
 831.636.1023
 lealvineyards.com

PERSPECTIVE VIEW

MORGAN HILL, CA

KIGY # 20150688

03.04.2016



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GRANADA HOTEL - MIXED-USE



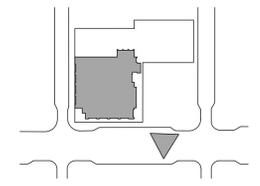
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PERSPECTIVE VIEW

MORGAN HILL, CA

KIGY # 20150688

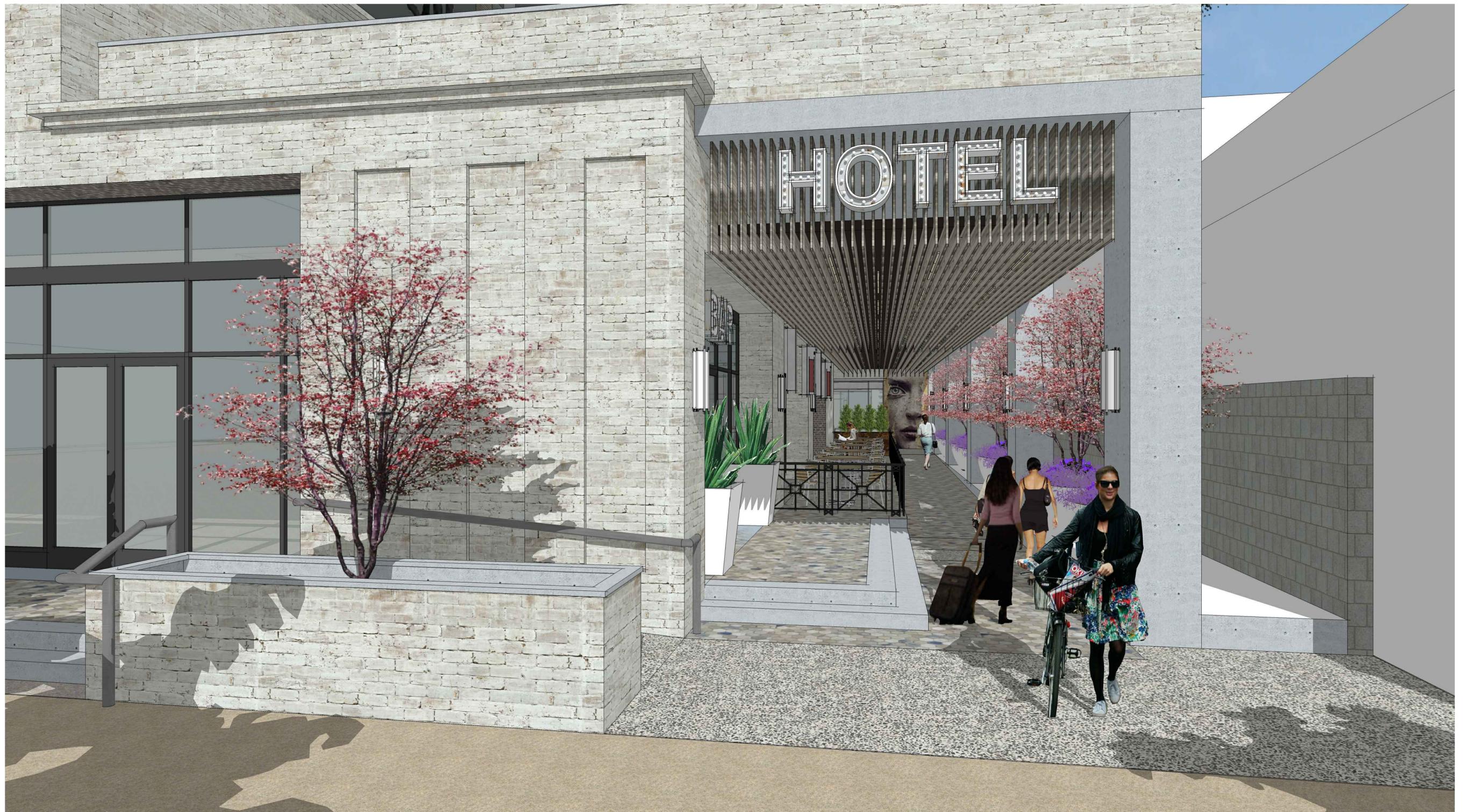
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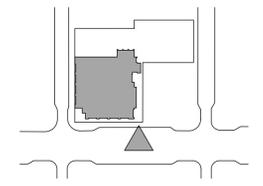
Leal Vineyards, Inc.
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PERSPECTIVE VIEW

MORGAN HILL, CA

KIGY # 20150688

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GRANADA HOTEL - MIXED-USE



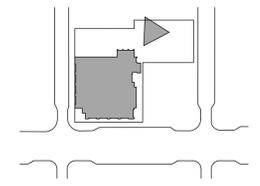
Leal Vineyards, Inc.
 300 Marantha Drive
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 lealvineyards.com

PERSPECTIVE VIEW

MORGAN HILL, CA

KIGY # 20150688

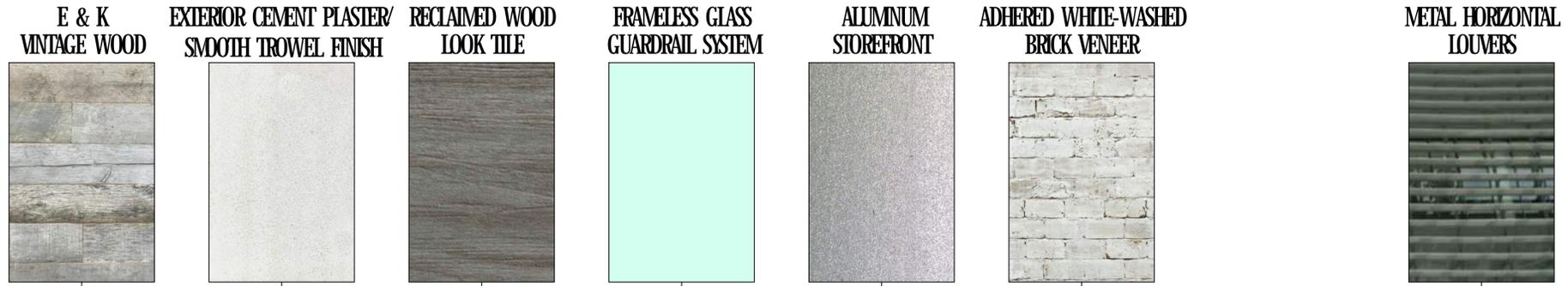
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GRANADA HOTEL - MIXED-USE



Leal Vineyards, Inc.
 300 Marantha Drive
 Hollister, CA 95023
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MATERIALS BOARD

MORGAN HILL, CA

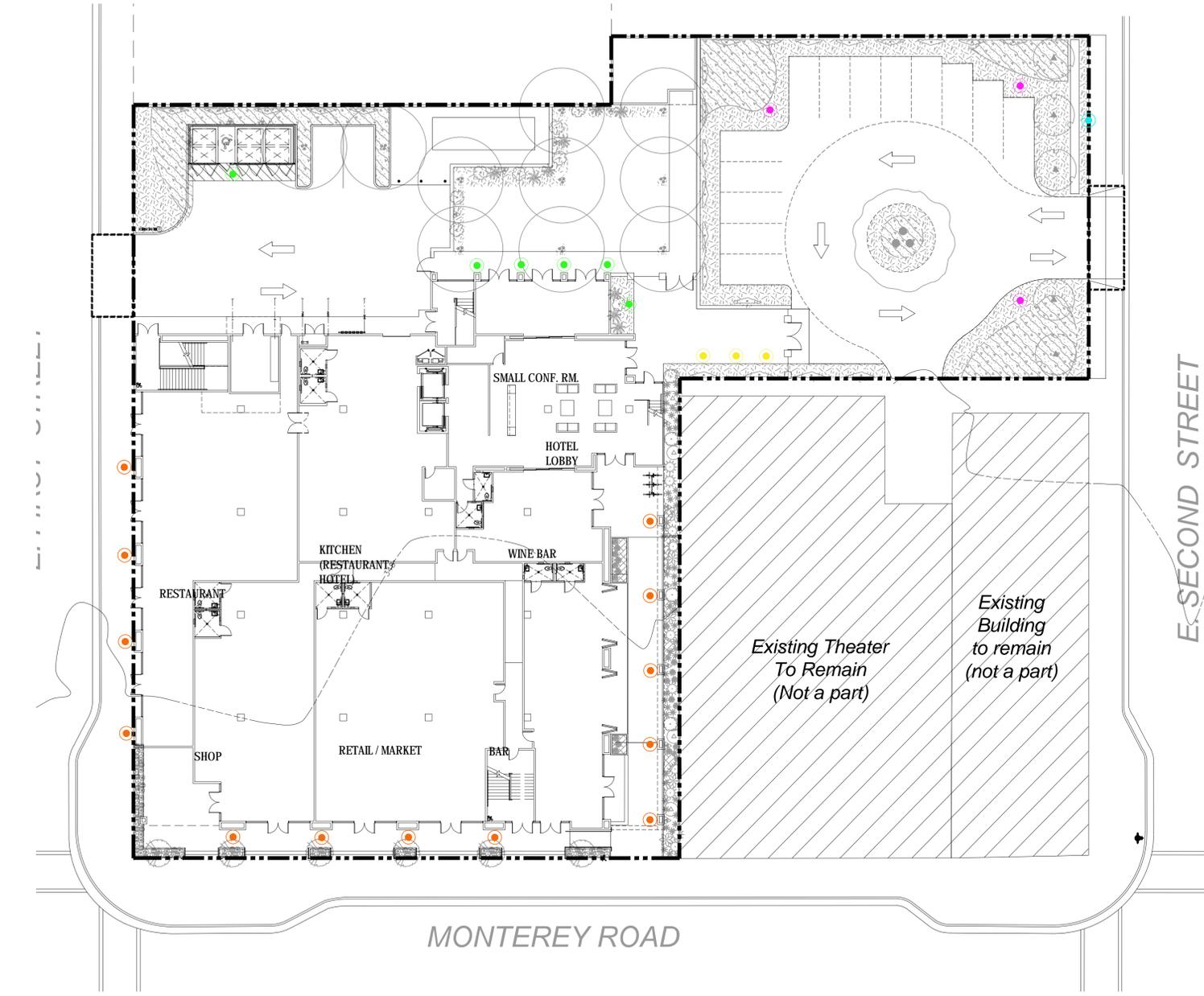
KIGY # 20150688

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 310.394.2623
 ktgy.com



A7.0



SCALE : 1" = 20'-0"

TEKA ILLUMINATION

Beacon Cone Top T5

Description: Exterior bollard luminaire.

Materials and Construction:
 A. Cast bronze cap
 B. Stainless steel or brass or stainless steel ring buffer
 C. Brass spacers, .5" diameter
 D. Heavy, 1/2" wall, pure copper post - 3.1" O.D.
 E. Etched clear glass cylinder
 F. Stainless steel fasteners
 G. Cast bronze housing
 H. Cast bronze base
 I. Stainless steel end cast bronze anchor plate
 J. 13W PC models supplied with HF electronic 120V ballast, 120° starting temperature

Options available at additional cost...:
 A. Add suffix # 277 to PC models for integral 277V electronic ballast, 120° starting temperature
 B. Add suffix #F for brown patina
 C. Higher or lower overall height available, consult factory
 D. Add suffix #S for silver, powder, copper, bronze, black shield

Note: All listed to ANSI/AIA Standard 1598 and Certified to CAN/CSA Standard C22.2 No. 250

Mounting: TEKA mounting kit #34 - supplied, allows for (2) 1/2" maximum trade

Product Number	Temp	Reg	Finish Option
SC#2502 / Natural	200V A19	S	Brown Patina
SC#2510 / Natural	600V A19	S	Brown Patina
SC#2502 / Natural	200V A19	S	None
SC#2510 / Natural	600V A19	S	None
SC#2547 / Natural	130V PC	S	Brown Patina
SC#2517 / Natural	130V PC	S	Brown Patina
SC#2502 / Natural	130V PC	S	None

***Nelson Plate**

TEKA ILLUMINATION, INC.
 40429 Broadway Drive, Modesto, California 95360 | (539) 438-5800 | Fax: (539) 438-5900 | www.tekainc.com

BOLLARDS

WALL SCONCES

SUSPENSE - model: WS-W19

LED Outdoor

Product Description: Giving the proverbial nod to tradition, it takes a powerful LED to pull off this look in a dark sky design. This contemporary luminaire showcases a mouth blown clear glass element and is equipped with state of the art LEDs for a flawless free design. Couple your passion for living with our passion for lighting.

Features:
 • CE/C Title 24 compliant for WS-W1917
 • ETL & cUL listed for wet locations
 • Dark sky friendly
 • Universal driver (120V, 220V, 277V) for WS-W1917
 • Tinted lock glass for minimal heatwave
 • Integral transformer in canopy
 • Replaceable LED module
 • 70,000 hour potential life
 • Color Temp: 3000K
 • CRI: 90

Specifications:
 Construction: Aluminum with a thick, mouth blown clear glass element.
 Light Source: High output LED.
 Mounting: Mounts directly on junction box.
 Finish: Brushed Aluminum (AL), bronze (BR).

Model	Height	Width	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W19	11"	8"	11W	120V	800	530	AL
	15"	10"	11W	120V	800	623	BR
	17"	14"	17W	Universal	1000	833	

ORDER NUMBER: WS-W19-AL

REPLACEMENT GLASS:

Model	Height	Width	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
RPL-GLA-1911	11"	8"	11W	120V	800	530	AL
RPL-GLA-1915	15"	10"	11W	120V	800	623	BR
RPL-GLA-1917	17"	14"	17W	Universal	1000	833	

Back Plate Dimensions:

Model	Dimension
WS-W1911	8L x 4.5W x 1.5H
WS-W1915	9.4L x 4.5W x 1.5H
WS-W1917	11.1L x 5.5W x 1.5H

www.lighting.com | Headquarters/Eastern Distribution Center: 44 Harbor Park Drive, Port Washington, NY 11050
 Central Distribution Center: 1600 Distribution Ct, Little Spring, CA 91722
 Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

PV - Pivot® LED

TYPE: PV

1. LUMINAIRE
 LED 4"® Housing Length: 5.5W Series Light Engine: Diffused acrylic lens: 80° beam
 PV-53500-04 (3000K)
 PV-53400-04 (4000K)
 PV-53300-04 (5000K)

2. COLOR
 WH: Arctic White
 BL: Black
 BU: Navy Blue
 CO: Cobalt Blue
 CR: Dark Brass
 MB: Muted Bronze
 MO: Bronze Metallic
 YB: Yellow Blue
 CR: Copper
 MA: Matte Aluminum
 MD: Metallic Gray
 AGN: Antique Brass
 LI: Light Gray
 RA: Raven Gray
 CUSTOM: * Custom Factory

3. MOUNTING
 End hub(s) (Set of two hubs for single fixture or to terminate the end of continuous run)
 SHX (Set of 3 spacers with pre-drilled and one 1/2" x 3/8" stainless steel cap for terminal the end of a continuous run)
 HB (Set of 2 end hubs and wall plate)
 HBLR (Set of 2 end hubs and wall plate)
 HBR (Set of 2 end hubs and wall plate)
 TPX-L (Flange pre-drilled)
 TPX-D (Flange pre-drilled down)
 TPX-S (Flange pre-drilled as a shelf)
 Intermediate hub(s) (One hub to connect two fixture boxes in a continuous run)
 SHX (One intermediate bracket. Can be used in combination with the HB set)
 Very Short Arms 200° rotation
 HBX (One intermediate hub and wall plate)
 Not suitable for 80° configurations
 Long Straight Arms 200° rotation
 HBX (One intermediate hub and wall plate)
 HBXL (One intermediate hub and wall plate)
 Corner Arms 200° rotation
 HBX (One intermediate hub and wall plate)
 HBXL (One intermediate hub and wall plate)
 An 80° rotation cap is available for the 200° rotation of any length. Fixtures can be oriented for uplight or downlight. An 80° rotation cap is available for the 200° rotation of any length. The 200° rotation cap includes an internal 90° end metal assembly. The hub, plate and canopy are joined in multiple fixtures.

4. OPTIONS
 EPV (Optional and apply) (An intermediate hub is used at the end of a run. The cap is available in white and silver and is 1/2" x 3/8" stainless steel. The cap is used with an epoxy for a water tight connection. Not for use with SHX)
 SLD (Optional lens shield structure to guard end cap. For uplight or downlight. Available for all individual fixtures, continuous runs)
 SLD-24 (24" long beam)
 SLD-48 (48" long beam)
 SLD-96 (96" long beam)

5. SPECIFICATIONS
 Lens housing shall be extruded 6061 T-6 aluminum with gasketed, die-cast aluminum end plates.
 Lens shall be molded optical grade acrylic and sealed with a silicone gasket and secured to the housing with a full length, rotating lever bar that locks the lens for a water tight seal.
 For tamper resistance, captive screws along the lower must be loosened to allow the lower to rotate.
 Hardware shall be stainless steel.

6. ELECTRICAL
 Luminaires shall accept 100 thru 277 VAC/60Hz input voltage have integral surge protection and wire leads for control.
 Drivers shall be UL recognized, have a minimum starting temperature of 0°C and have a 10-100 dimming interface with a dimming range of 10-100%.
 Drivers shall have a power factor >= 0.90 and THD of <= 20%.
 All LED load with an input current maximum of <= 0.50 Amps maximum at 250VAC.
 Drivers shall not be compatible with current sourcing dimmers, constant factory for current led or known incompatible dimming systems.
 Approved dimmers include Lutron Diva HVTV, Lutron Home HTV and HT1TV.
 Surge protector shall be UL recognized and have a surge current rating of 10,000 Amps and the industry standard 8000AeC wave and surge rating of 372V.

7. INSTALLATION
 Estimated time for installation for a single luminaire is 15 minutes.

8. SERVICING
 Depression of the lower bar releases the lens for service access. The electrical assembly shall be removed to a pre-wired internal service tray and accessed by removal of the lens. Removal of lens screws at either end of the electrical assembly shall enable the electrical assembly to be removed from the luminaire for service.

9. MATERIALS
 Screws in lens of corrosion resistant 316 aluminum alloy with a copper (CU) content of less than 0.1%.
 The top cast aluminum housing is designed with a finger mechanism. The hard aluminum shade assembly is designed with a set of perimeter reinforcement ribs. The lens surface is standard white enamel for higher light efficiency.
 The lower optical assembly includes sealed borosilicate ceramic glass diffuser which is secured with a silicone memory retention gasket.

10. CERTIFICATION
 Tested to UL2088 and CSA 223.850. ETL listed wet location. Photometry tested per IES LM79-08 / IES LM80 test report at 25°C. Rated IP65.

11. LIFE
 50,000h L70 (Based on IESNA TM-21 Test Method and LM80 data). 60,000h L80 (Calculated projection from LM80 data).

12. FINISH
 Five-stage preparation process including pre-treating of cast aluminum parts for an anodic oxidation and an environmentally friendly epoxy powder. Polymer powder coating is applied through an electrostatic process and oven cured for long term finish.

13. MOUNTING
 Maximum weight: 14.66lbs (6.7kg)
 Screws is designed as a modular luminaire concept offering a selection of mounting arrangements for various architectural requirements. Poles, wall or suspension attachments are processed with high quality components to meet multiple installation conditions.

14. ACCESSORIES
 Screws is designed for ease of access with a double torque sealed mechanism limiting the light controller from the driver compartment, removing maintenance handling and possible damaging components.

ARCHITECTURAL AREA LIGHTING | JOB TYPE: NOTES | 1 | 1

BLADE SIGN FLOOD LIGHT

VALET DROP OFF

LUMINIS SR115/SR215 SERIES SCIROCCO - LED

TYPE: SR115, SR215

1. LUMINAIRE
 LED 4"® Housing Length: 5.5W Series Light Engine: Diffused acrylic lens: 80° beam
 SR-53500-04 (3000K)
 SR-53400-04 (4000K)
 SR-53300-04 (5000K)

2. COLOR
 WH: Arctic White
 BL: Black
 BU: Navy Blue
 CO: Cobalt Blue
 CR: Dark Brass
 MB: Muted Bronze
 MO: Bronze Metallic
 YB: Yellow Blue
 CR: Copper
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 AGN: Antique Brass
 LI: Light Gray
 RA: Raven Gray
 CUSTOM: * Custom Factory

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LUMINIS | Toll free: 866.586.4647 | Fax: 514.683.9872 | 260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5
 Luminaires may be altered for design improvement or discontinued without prior notice.

BLADE SIGN FLOOD LIGHT

VALET DROP OFF

GRANADA HOTEL - MXED-USE



Leal Vineyards, Inc.
 300 Marantha Drive
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 831.636.1023
 lealvineyards.com

CONCEPTUAL SITE LIGHTING PLAN

MORGAN HILL, CA
 KIGY # 20150688 | 03.04.2016

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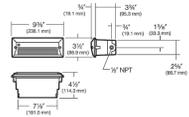


Step Light KLV800
12 Volt Die-Cast Aluminum, T-3 / T-4 Halogen
revision 10/29/14 • klv800_spec.pdf

Type: **Job:**
Fixture Catalog number: _____
Date: **Page: 1 of 1**

Specifications

Housing: Die-cast low copper alloy aluminum with clear anodized finish. Two 1/2" NPT in sides. Housing mounts into concrete, brick, or masonry (non-combustible materials). Internal splice area provided behind lamp plate.
Lens Frame: Die-cast aluminum, with silicone gasket, attaches to housing with two captive 10-32 stainless steel hex socket cap screws.
Lens: Tempered prismatic glass with silicone gasket, concealed above lens frame opening.
Socket: G4 to GY6.35 socket for bipin lamp.
Transformer: Requires remote transformer.
Finish: Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, high-purity (TFC) polyester powdercoat finish. Standard colors are Black (BL), Dark Bronze (DB), and Verde Green (GR).
Certification: UL Listed to U.S. and Canadian safety standards for wet locations.



ORDERING INFORMATION

Fixture*	Lamp	Finish
<input type="checkbox"/> KLV800BL	50W T-3 or T-4 Bipin Halogen	Black
<input type="checkbox"/> KLV800DB	50W T-3 or T-4 Bipin Halogen	Dark Bronze
<input type="checkbox"/> KLV800GR	50W T-3 or T-4 Bipin Halogen	Verde Green

*Remote transformer required.

HUBBELL
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.
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ECOLINE

Ecoline with wall arm
For high performance LEDs:
• thermal monitoring device
• wall washer light distribution
• IP65, IK10
• housing made of extruded aluminum and die cast aluminum - polyester powder coated
• all exterior steel parts are stainless steel
• polycarbonate cover
• silicon gasket
• closure by 2 stainless steel screws
• 2 drilled holes Ø 0.26"
• spacing L2
• tilt range 220°
• cable gland
• integral control gear or ballast

Part Number	Color	Light Source	Height	Half beam angle
ME 792 946 900	Black	3 x LED 3 W warm white	4.86" (124.5mm)	20°
ME 792 956 900	Black	3 x LED 3 W cool white	4.86" (124.5mm)	20°

Part Number	Color	Light Source	Height	Half beam angle
ME 792 946 900	Black	3 x LED 3 W warm white	6.71" (170.5mm)	20°
ME 792 956 900	Black	3 x LED 3 W cool white	6.71" (170.5mm)	20°

Part Number	Color	Light Source	Height	Half beam angle
ME 792 946 900	Black	3 x LED 3 W warm white	7.86" (199.5mm)	20°
ME 792 956 900	Black	3 x LED 3 W cool white	7.86" (199.5mm)	20°

ME 793 ... 300 (Dimmable luminaire 30-150°)
*Not available for luminaire 1 - 15.46"

Job Name: _____ Fixture Type: _____



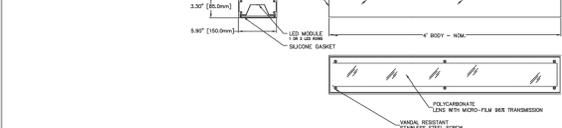
79 Trenton Ave
Frenchtown, NJ 08825
Tel: 908-996-7710
Fax: 908-996-7042



SQI LED

Extruded aluminum housing
Die cast aluminum ends
Available with one or two LED rows
.IK 10+ impact resistant
Surface mount fixture
Pendant Mount available on request
Integral electronic power supply
0-10v dimmable
Powder polyester finish
Stainless steel hardware
Suitable for continuous row mounting
Complies with LM79 and LM80

UL listed wet label IP65



ORDERING INFORMATION

Color	Lens	Temp.	CCFL	Mount Position	CFR	Finish	CFR	CFR	Options
Black	Clear	20°	13W-1 row 3000K	15° Surface Mount	IP65	Black Anodize	Clear Polycarbonate	None	None
Black	Clear	20°	13W-2 row 3000K	No Conduit Entries	IP65	Black Anodize	Clear Polycarbonate	None	None
Black	Clear	20°	13W-2 row 5000K		IP65	Black Anodize	Clear Polycarbonate	None	None
Black	Clear	20°	13W-2 row 3000K		IP65	Black Anodize	Clear Polycarbonate	None	None
Black	Clear	20°	13W-2 row 5000K		IP65	Black Anodize	Clear Polycarbonate	None	None

Job Name: _____ Fixture Type: _____



79 Trenton Ave
Frenchtown, NJ 08825
Tel: 908-996-7710
Fax: 908-996-7042

STEP LIGHTS

BUILDING WALL WASH

CEILING ILLUMINATION AT ENTRY COURTYARD

BUILDING FLOODLIGHT

WALL SCONCES

HINKLEY & IR

HINKLEY & IR, INC.
12225 WILSON AVENUE, SUITE 100, FREEDRICKSBURG, VA 22402
TEL: 540.833.5150 FAX: 540.833.5151
WWW.HINKLEY.COM



ATLANTIS 1646B2-LED

BRONZE

WIDTH:	5.6"
HEIGHT:	6.6"
WEIGHT:	3.1 LBS
MATERIAL:	EXTRUDED ALUMINUM
GLASS:	ETCHED GLASS LENS
BACKPLATE WIDTH:	4.1"
BACKPLATE HEIGHT:	4.1"
SOCKET:	1-1.50W COOL-WHITE
DARK SKY:	YES
LED INFO:	
LUMENS:	210
COLOR TEMP:	2700K
CRF:	90
LED WATTAGE:	0w
INCANDESCENT EQUIVALENCY:	35w
DIMMABLE:	Yes, on any Incandescent, MV, ELV, or CL dimmer
NOTES:	PATENT US AND FOREIGN PATENTS PENDING THIS FIXTURE WILL CAST LIGHT DOWN
EXTENSION:	4.1"
TTO:	2.1"
CERTIFICATION:	C-ULS WET RATED
VOLTAGE:	120V
LPC:	640665164626

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, SOULS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT REFLECTS YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR lifeGLOW.



EGRESS DOOR LIGHTING

GRANADA HOTEL - MIXED-USE



Leal Vineyards, Inc.
300 Marantha Drive
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CONCEPTUAL SITE LIGHTING

MORGAN HILL, CA
KITG # 20150688

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SL-2

NOTES:

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS OCTOBER AND NOVEMBER, 2015.
3. PROPERTY LINES SHOWN ARE OF RECORD DATA ONLY.

BENCHMARK:

- FEMA BENCHMARK (US COAST AND GEODETIC SURVEY) D 1080
ELEVATION 353.70 ADJUSTED NAVD 88

PRELIMINARY TITLE REPORT NOTE:

PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY DATED SEPTEMBER 1, 2015, ESCROW NO. FWPS-4475150054-CM

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON FIELD AND RECORD DATA. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.

BOUNDARY NOTE:

THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. IF TRUE LOCATION OF BOUNDARY IS PERTINENT, A BOUNDARY SURVEY AND SUBSEQUENT FILING OF A RECORD OF SURVEY MUST BE PERFORMED.

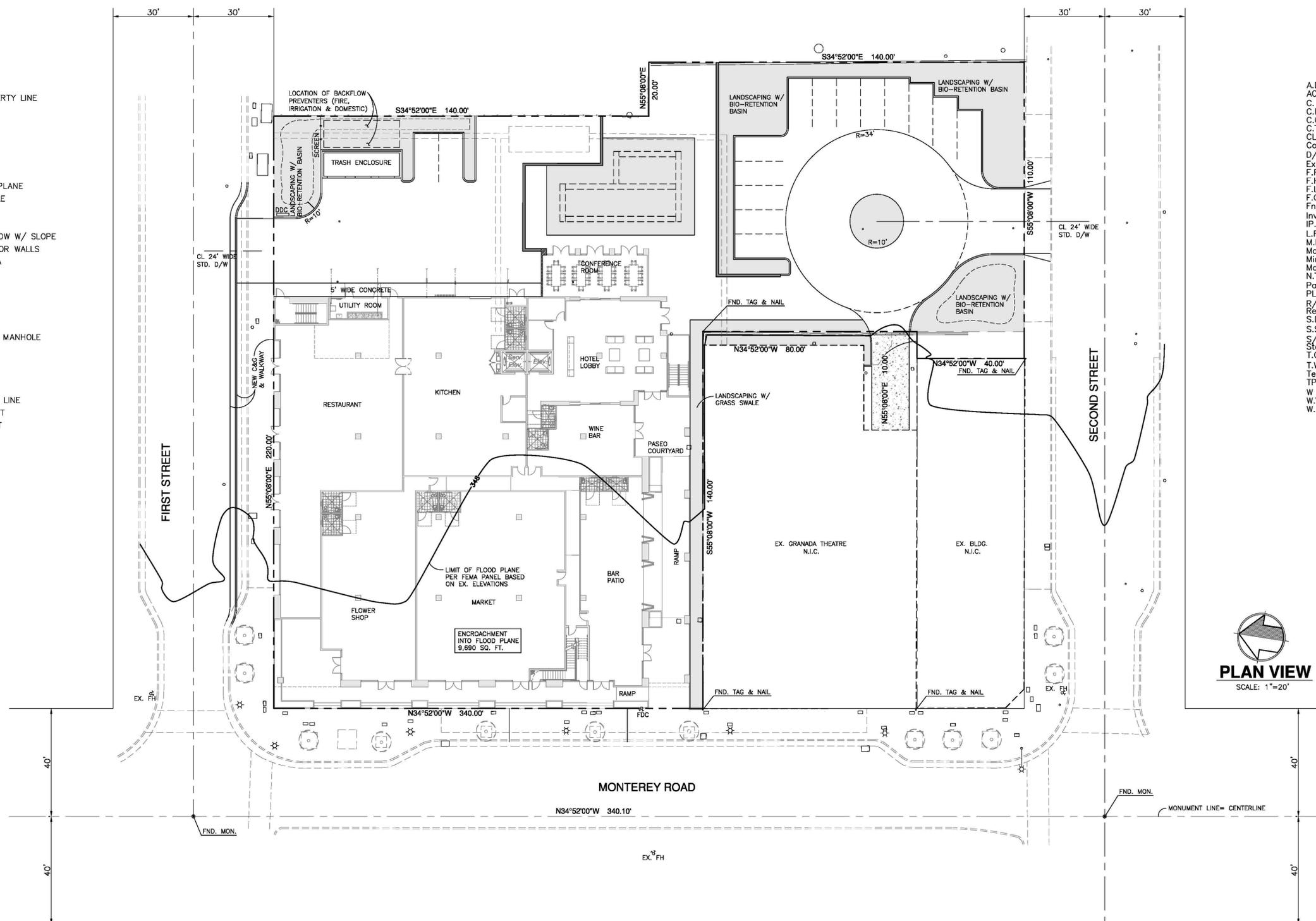


LEGEND:

PL	--- ---	PROPERTY LINE
R/W	--- ---	ADJACENT PROPERTY LINE
CL	--- ---	RIGHT OF WAY
	---	CENTERLINE
	---	EASEMENT
	---	CURB & GUTTER
	---	NEW HOTEL
	---	EX. BLDG.
348	---	LIMIT OF FLOOD PLANE
	---	SWALE/BIO-SWALE
348.69	---	EX. GRADE
348.83	---	DESIGN GRADE
1.5%	---	DIRECTION OF FLOW W/ SLOPE
	---	SEPARATION DECOR WALLS
	---	LANDSCAPE AREA
	---	DRAIN INLET
	---	CATCH BASIN
-S.D.	---	STORM DRAIN
EX. ◯ NEW	---	STORM MANHOLE
-S.S.	---	SANITARY SEWER
EX. ◯ NEW	---	SANITARY SEWER MANHOLE
W	---	WATER LINE
G	---	GAS LINE
E	---	ELECTRICAL LINE
T	---	TELEPHONE LINE
F.P.	---	FIRE PROTECTION LINE
	---	EX. FIRE HYDRANT
	---	EX. STREET LIGHT
	---	EX. STREET TREE

ABBREVIATIONS:

A.D.	Area Drain
A.C. or A.C.	Asphalt Concrete
C. & G.	Curb and Gutter
C.B.	Catch Basin
C.O.	Clean Out
C.T.	Common Trench
CL	Centerline
Conc.	Concrete
D/W	Driveway
Ex. or Exist.	Existing
F.F.	Finish Floor
F.H.	Fire Hydrant
F.L.	Flow Line
F.O.C.	Face of Curb
Fnd.	Found
Inv.	Invert
IP.	Iron Pipe
L.F.	Linear Feet
M.H.	Manhole
Max.	Maximum
Min.	Minimum
Mon.	Monument
N.T.S.	Not To Scale
Pav.	Pavement
PL or Prop.	Property Line
R/W	Right-of-Way
Ret.	Retaining
S.D.	Storm Drain
S.S.	Sanitary Sewer
S/W	Sidewalk
Sta.	Station
T.C.	Top of Curb
T.W.	Top of Wall
TEL.	Telephone
TP	Top of Pavement
W	Water
W.V.	Water Valve
W.M.	Water Meter



PLAN VIEW
SCALE: 1"=20'

DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	DATE:	REVISION DESCRIPTION:
V.S.	R.S.C.	V.S.	AS SHOWN	12-15	

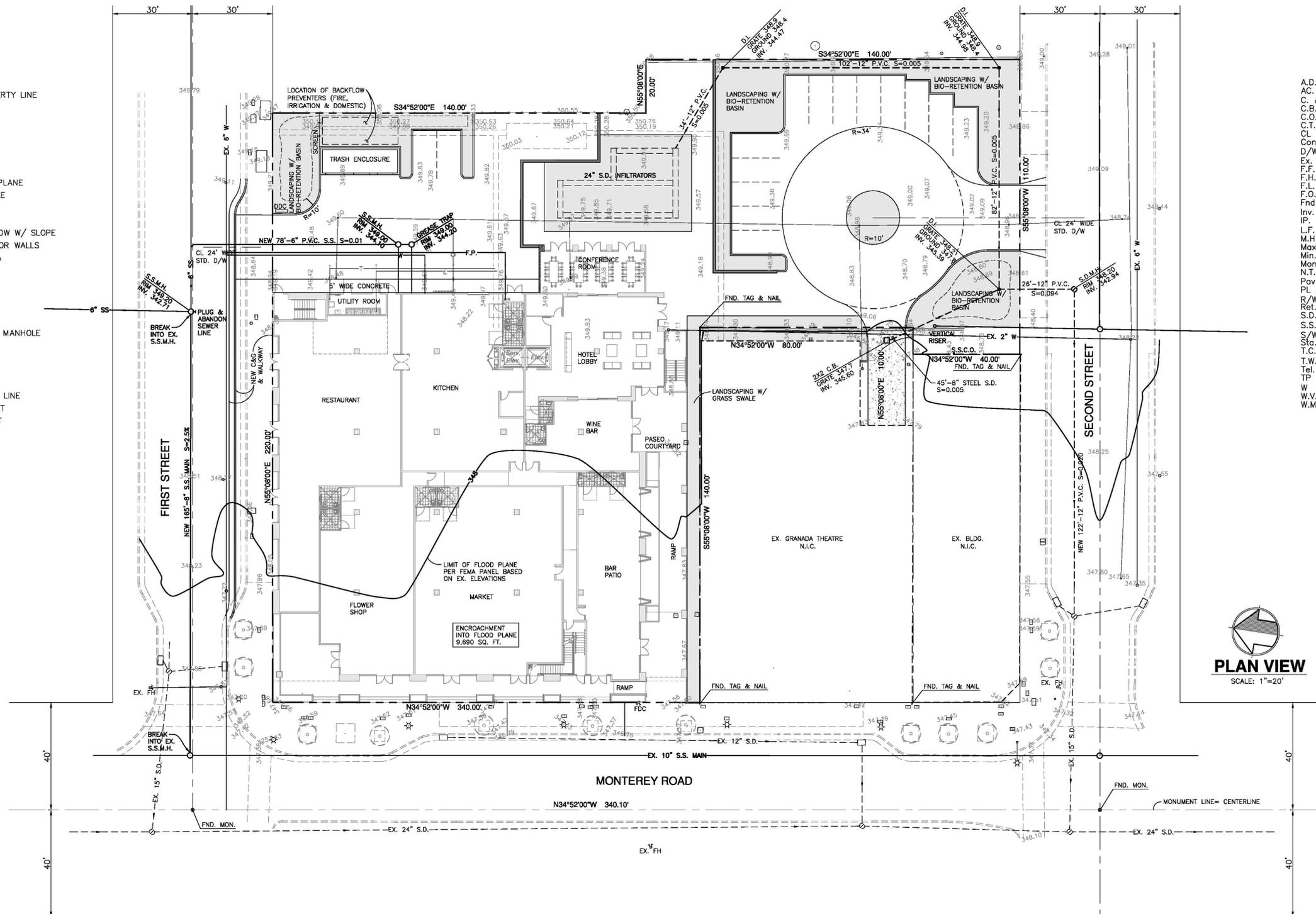
PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
1986 Tarab Court • Milpitas, CA 95035
408-957-9220 Fax 408-957-9221
REGISTRATION EXPIRES MARCH 31, 2017

SITE PLAN
"GRANADA HOTEL"
LANDS OF LEAL
MONTEREY ROAD
MORGAN HILL, CALIFORNIA



- LEGEND:**
- PL --- = PROPERTY LINE
 - R/W --- = ADJACENT PROPERTY LINE
 - CL --- = RIGHT OF WAY
 - CL --- = CENTERLINE
 - = EASEMENT
 - = CURB & GUTTER
 - = NEW HOTEL
 - = EX. BLDG.
 - = LIMIT OF FLOOD PLANE
 - = SWALE/BIO-SWALE
 - = EX. GRADE
 - = DESIGN GRADE
 - = DIRECTION OF FLOW W/ SLOPE
 - = SEPARATION DECOR WALLS
 - = LANDSCAPE AREA
 - = DRAIN INLET
 - = CATCH BASIN
 - = STORM DRAIN
 - EX. ○ NEW = STORM MANHOLE
 - S.S. = SANITARY SEWER
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 - W = WATER LINE
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 - T = TELEPHONE LINE
 - F.P. = FIRE PROTECTION LINE
 - = EX. FIRE HYDRANT
 - = EX. STREET LIGHT
 - = EX. STREET TREE

- ABBREVIATIONS:**
- A.D. = Area Drain
 - A.C. or A.C. = Asphalt Concrete
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 - C.O. = Clean Out
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 - CL = Centerline
 - Conc. = Concrete
 - D/W = Driveway
 - Ex. or Exist. = Existing
 - F.F. = Finish Floor
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 - F.L. = Flow Line
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 - Fnd. = Found
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 - IP. = Iron Pipe
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 - Mon. = Monument
 - N.T.S. = Not To Scale
 - Pav. = Pavement
 - PL or Prop. = Property Line
 - R/W = Right-of-Way
 - Ret. = Retaining
 - S.D. = Storm Drain
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 - T.W. = Top of Wall
 - TP = Telephone
 - TP = Top of Pavement
 - W = Water
 - W.V. = Water Valve
 - W.M. = Water Meter



PLAN VIEW
SCALE: 1"=20'

DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	DATE:	REVISION DESCRIPTION:
V.S.	R.S.C.	V.S.	AS SHOWN	12-15-15	

PEOPLES ASSOCIATES
STRUCTURAL ENGINEERS
1986 Tarab Court
Milpitas, CA 95035
408-957-9220
Fax 408-957-9221

REGISTRATION EXPIRES MARCH 31, 2017

CONCEPTUAL UTILITY PLAN
"GRANADA HOTEL"
LANDS OF LEAL
MONTEREY ROAD
MORGAN HILL, CALIFORNIA

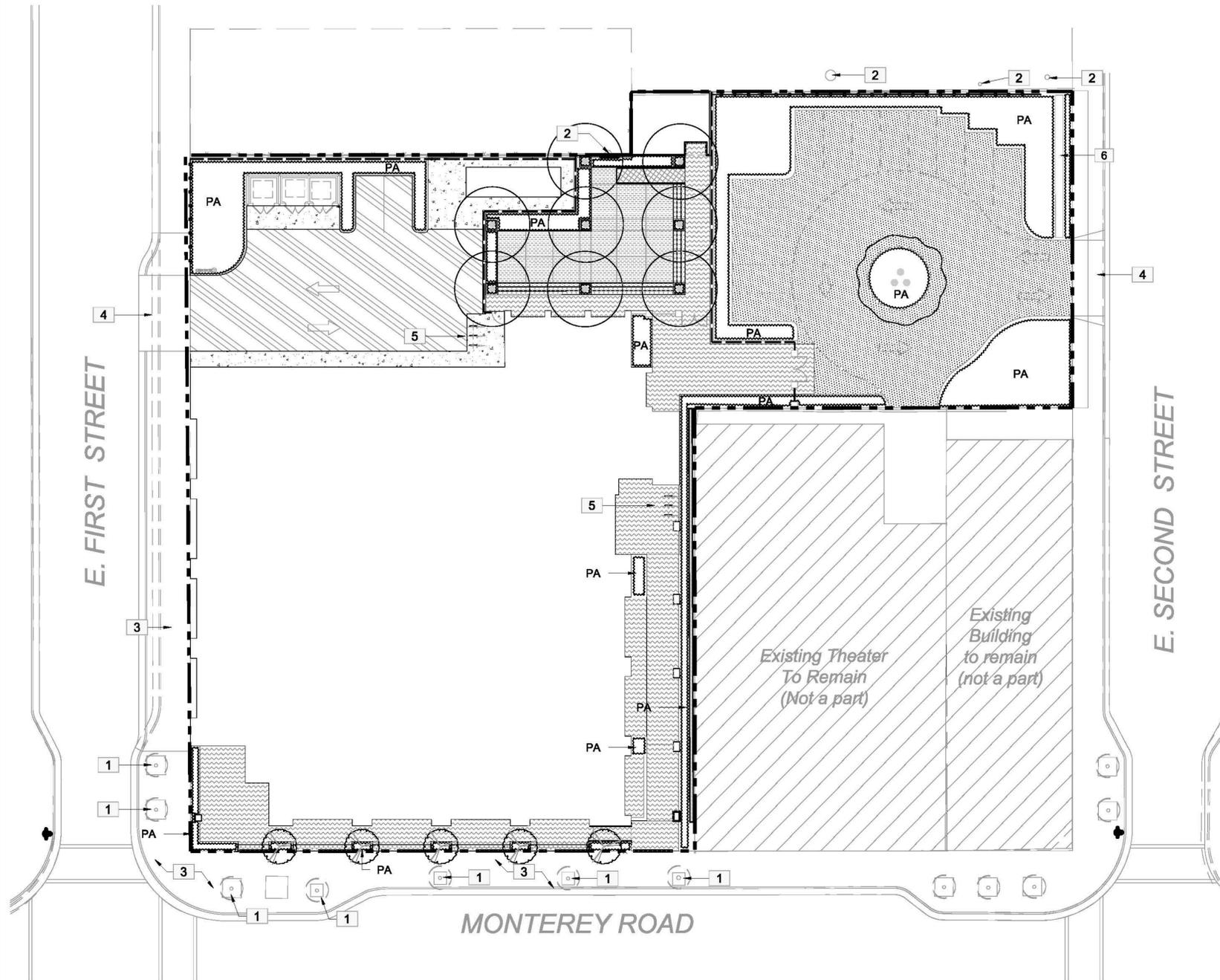
REFERENCE NOTES

SYMBOL	DESCRIPTION
1	PROTECT (E) STREE TREE
2	PROTECT (E) OFFSITE TREE
3	PROTECT (E) SIDEWALK OR REPLACE IN KIND
4	(N) DRV APRON, SEE CIVIL DWGS
5	BIKE RACK, SEE LEGEND
6	ENTRY SIGNAGE, SEE ARCHITECTS DRAWINGS

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVING, NATURAL COLOR
	ASPHALTIC CONCRETE
PA	PLANTING AREA, SEE PLANTING PLAN
	PRECAST CONCRETE STEPS AND RISERS.
	GRAVEL DRIVEWAY / DROP OFF AREA: 1" CALIFORNIA GOLD GRAVEL ON 4" COMPACTED BASEROCK
	EXTERIOR DECORATIVE PAVING AT ENTRY: CONTRASTING GRANITE PAVERS, 50% LIGHT GREY, 50% CHARCOAL GREY. HERRINGBONE PATTERN.
	ALTERNATE: CAST IN PLACE CONC.PAVING, NATURAL COLOR, ACID ETCH FINISH. ACCENT: BANDS OF GRANITE PAVING, DARK GREY COLOR.
	CAST IN PLACE CONC.PAVING, NATURAL COLOR, ACID ETCH FINISH W/ DECORATIVE GRAVEL ACCENT BANDS

SYMBOL	DESCRIPTION
	8' HIGH, CONC. BLOCK WALL W/ BLACK GRANITE SPLIT FACE FASCIA W/ INTEGRAL FERNS PLANTING AND RE-CIRCULATING WATER FEATURE.
	ALTERNATE: 8' HIGH, CONC. BLOCK WALL W. SMOOTH TROWEL SKIIM COAT FINISH, TO MATCH ARCHITECTURAL CONC. FINISH.
	8' HIGH, CONC. BLOCK WALL W. SMOOTH TROWEL SKIIM COAT FINISH, TO MATCH ARCHITECTURAL CONC. FINISH.
	WOOD FENCE, 8' TALL, REDWOOD. HORIZONTAL BOARD LAYOUT.
	4' x 4' x 24" CORTEN PLANTER, PRE RUSTED FINISH
	INVERTED "U" BIKE RACK, BLACK POWDER COAT FINISH.
	HANDRAILS: 3/4" x 2" POWDERCOATED GALVANIZED STEEL. MATCH BLD. EXTERIOR METALWORK



SEAL & SIGNATURE:



CONSULTANTS:

PROJECT TITLE:

GRANADA HOTEL

17### MONTEREY ST.
MORGAN HILL, CA 95037

REVISIONS: DATE:

SHEET TITLE:

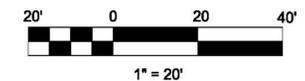
L1.0
SITE LANDSCAPE/MATERIALS PLAN

SCALE: 1" = 20' DATE: 2016.02.18

DRAWN BY: BJ CHECKED BY: MY

PROJECT NO:

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CONSULTANTS:

PROJECT TITLE:

GRANADA HOTEL

17### MONTEREY ST.
MORGAN HILL, CA 95037

REVISIONS: DATE:

SHEET TITLE:

L1.1
LANDSCAPE/MATERIALS PLAN -
LEVELS 2 & 3
SCALE: 1" = 10' DATE: 2016.02.18

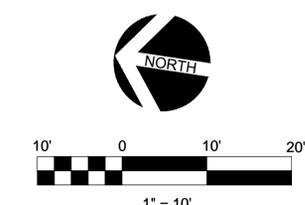
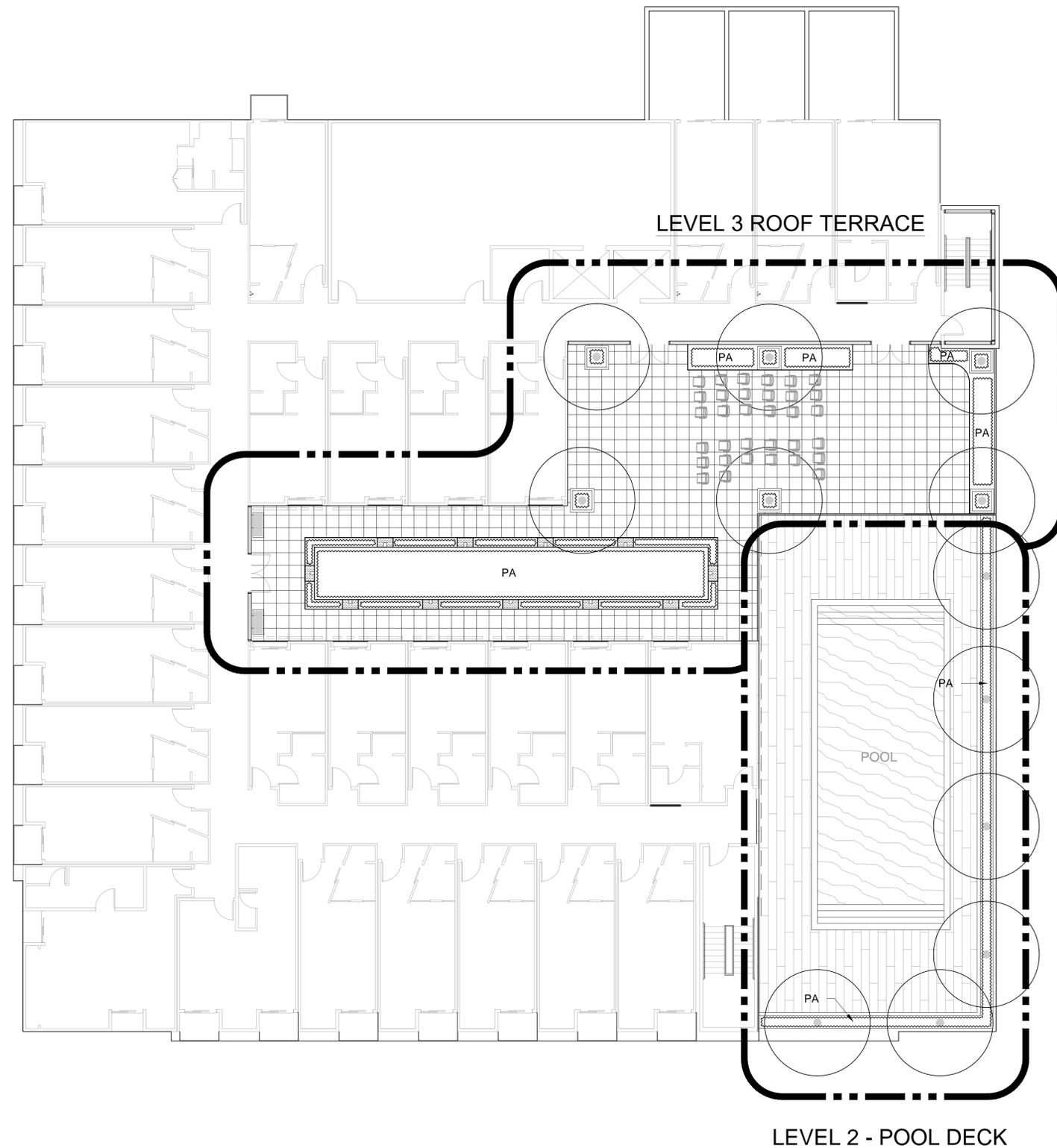
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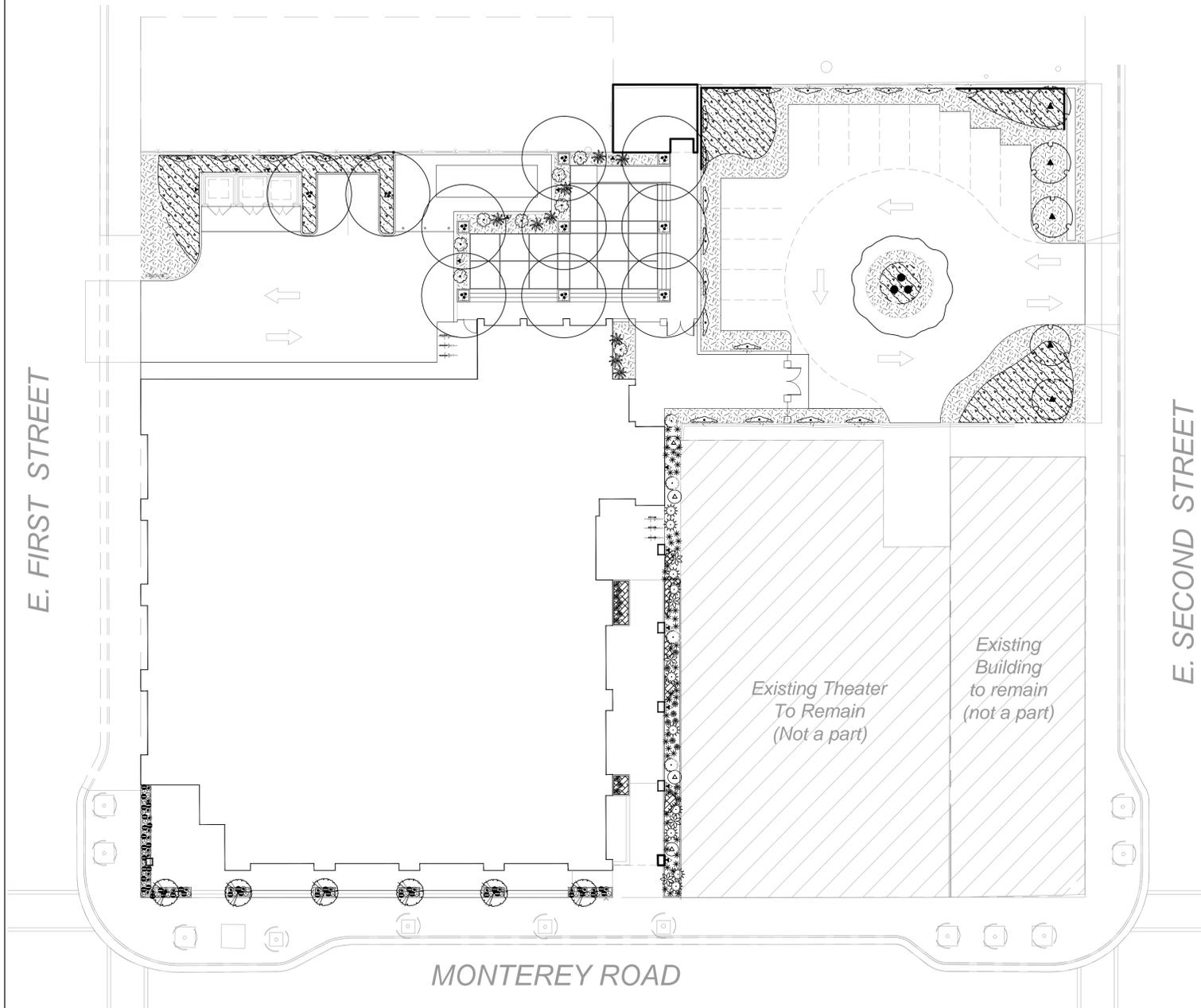
PROJECT NO:

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2ND AND 3RD FLOOR LANDSCAPE MATERIALS LEGEND

SYMBOL	DESCRIPTION
PA	PLANTING AREA, SEE PLANTING PLAN
	24" x 24" HANOVER PRECAST PEDESTAL PAVER, CHARCOAL COLOR, TUDOR FINISH
	POOL DECK PAVING, SEE ARCHITECTURE DRAWINGS
	4' x 4' x 24" CORTEN PLANTER
	CORTEN STEEL PLANTERS: 24" x 48" x 24" ALTERNATE: TOURNASOL FRP COMPOSITE PLANTER, 24"x 48" x 24" COLOR: PITCH.
	RAISED PLANTER W/ INTEGRATED RE-CIRCULATING WATER FEATURE.





PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	Very Low	Low	Medium	High	
	Cercis occidentalis / Western Redbud Multi-trunk	15 gal	6	X				
	Cotinus coggygria / Smoke Tree	15 gal	8		X	X		
	Olea europaea 'Swan Hill' TM / Swan Hill Olive	36"box	10	X				
	Punica granatum 'California Sunset' / California Sunset Pomegranate Multi-trunk	15 gal	5			X	X	
	Quercus agrifolia / Coast Live Oak Multi-Trunk	36"box	1	X				
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	Very Low	Low	Medium	High	
	Acer circinatum / Vine Maple	5 gal	4			X		
	Agave vilmoriniana / Octopus Agave	15 gal	9		X			
	Aspidistra elatior / Cast Iron Plant	1 gal	21			X	X	
	Bulbine frutescens / Stalked Bulbine	1 gal	28		X			
	Citrus x limon 'Dwarf Meyer' / Meyer Lemon	15 gal	24			X		
	Dicksonia antarctica / Tasmanian Tree Fern	5 gal	5			X	X	
	Kniphofia citrina 'Christmas Cheer' / Poker Plant	1 gal	27			X	X	
	Parthenocissus tricuspidata / Japanese Creeper	5 gal	13			X		
	Polystichum munitum / Western Sword Fern	1 gal	53			X		
	Ribes sanguineum glutinosum 'Inverness White' / Flowering Currant	5 gal	4		X			
	Senecio mandraliscae 'Blue Chalk Sticks' / Senecio	1 gal	40		X			
	Woodwardia fimbriata / Giant Chain Fern	5 gal	10			X		
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	Very Low	Low	Medium	High
	Ophiopogon japonicus / Mondo Grass	1 gal	10" o.c.	222				X
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	Very Low	Low	Medium	High
	Carex praegracilis / Slender Sedge	flat	12" o.c.	2,969 sf			X	
	CULINARY GARDEN MIX			2,071 sf				
	Borago officinalis / Borage	1 gal						X
	Cynara scolymus 'Green Globe' / Green Globe Artichoke	1 gal						X
	Laurus nobilis / Sweet Bay	1 gal				X		
	Lavandula angustifolia / English Lavender	1 gal				X		
	Mentha x piperita 'Chocolate' / Chocolate Mint	1 gal					X	
	Origanum vulgare / Oregano	1 gal				X		
	Rosmarinus officinalis / Rosemary	1 gal				X		
	Salvia officinalis 'Variegata' / Garden Sage	1 gal				X		
	Thymus vulgaris / Common Thyme	1 gal				X		



SEAL & SIGNATURE:



CONSULTANTS:

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GRANADA HOTEL
17### MONTEREY ST.
MORGAN HILL, CA 95037

REVISIONS: DATE:

SHEET TITLE:
L2.0
SITE PLANTING PLAN
SCALE: 1" = 20' DATE: 2016.02.18
DRAWN BY: BJ CHECKED BY: MY
PROJECT NO:
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TREES



SHADE AREA PLANTINGS



PART SUN-FULL SUN PLANTINGS



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GRANADA HOTEL

17### MONTEREY ST.
MORGAN HILL, CA 95037

REVISIONS: DATE:

SHEET TITLE:

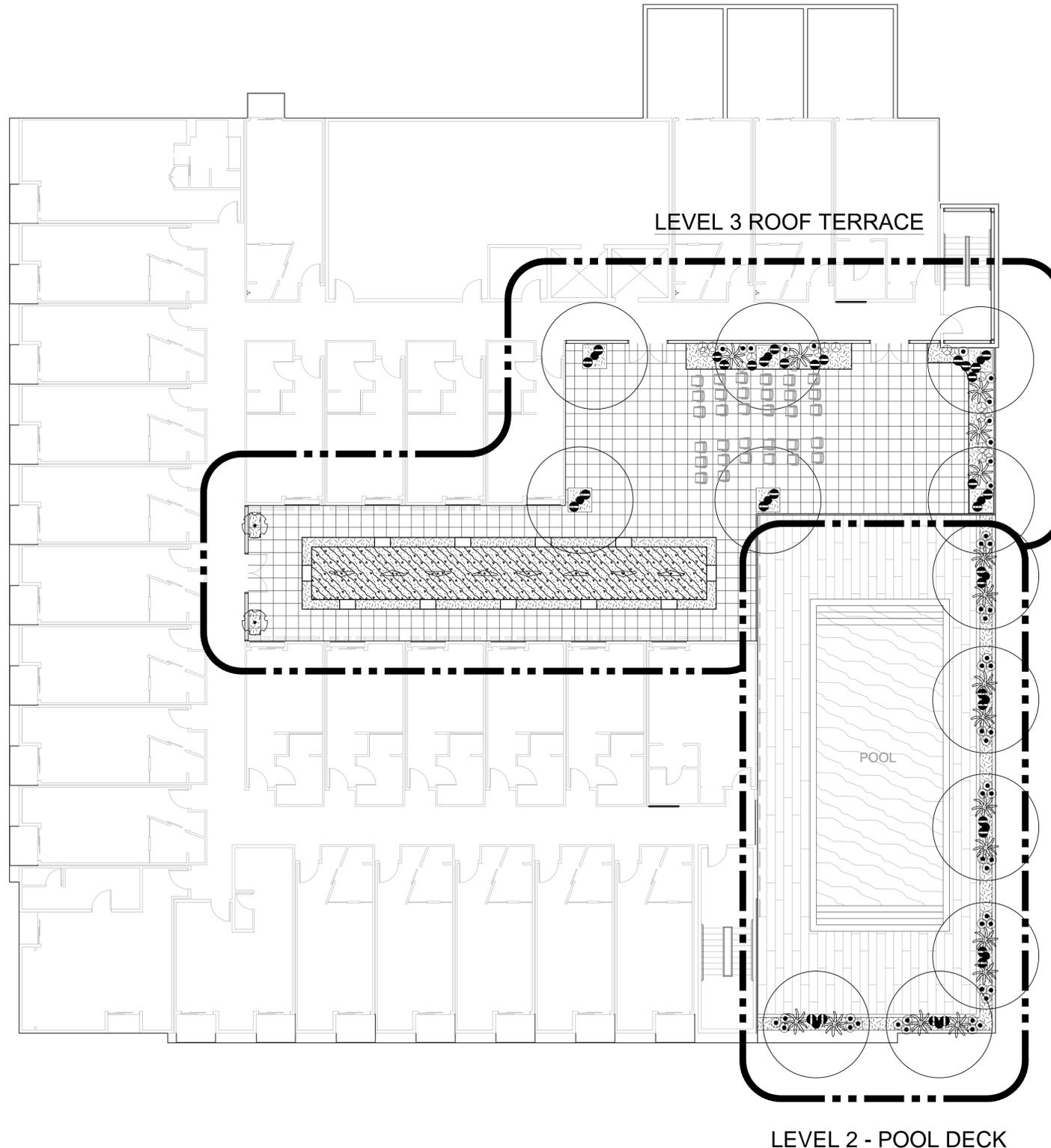
L2.1
PLANTING PLAN - LEVEL 2 & 3

SCALE: 1" = 10' DATE: 2016.02.18

DRAWN BY: BJ CHECKED BY: MY

PROJECT NO:

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LEVEL 2 - POOL DECK

